

Eaves & Roof-tops.

A variety of eave and roof- detailing is evident in Newbury Town Centre. These vary from gables with decorative bargeboards, decorative Georgian kneelers, simple mansard roofs, parapets with hidden gutters, traditional eaves with gutter hangers, ornamental brick detailing and even Dutch gables.



Figure 6.14: Examples of Eaves & Roof-tops found within the Conservation Area of Newbury Town Centre.



Shop Fronts.

While there are a variety of different shop fronts in the locale, some are far more successful - aesthetically - than others. The images below are of the more picturesque and sensitively executed shop fronts.



Figure 6.15: Examples of shop fronts found within the Conservation Area of Newbury Town Centre.



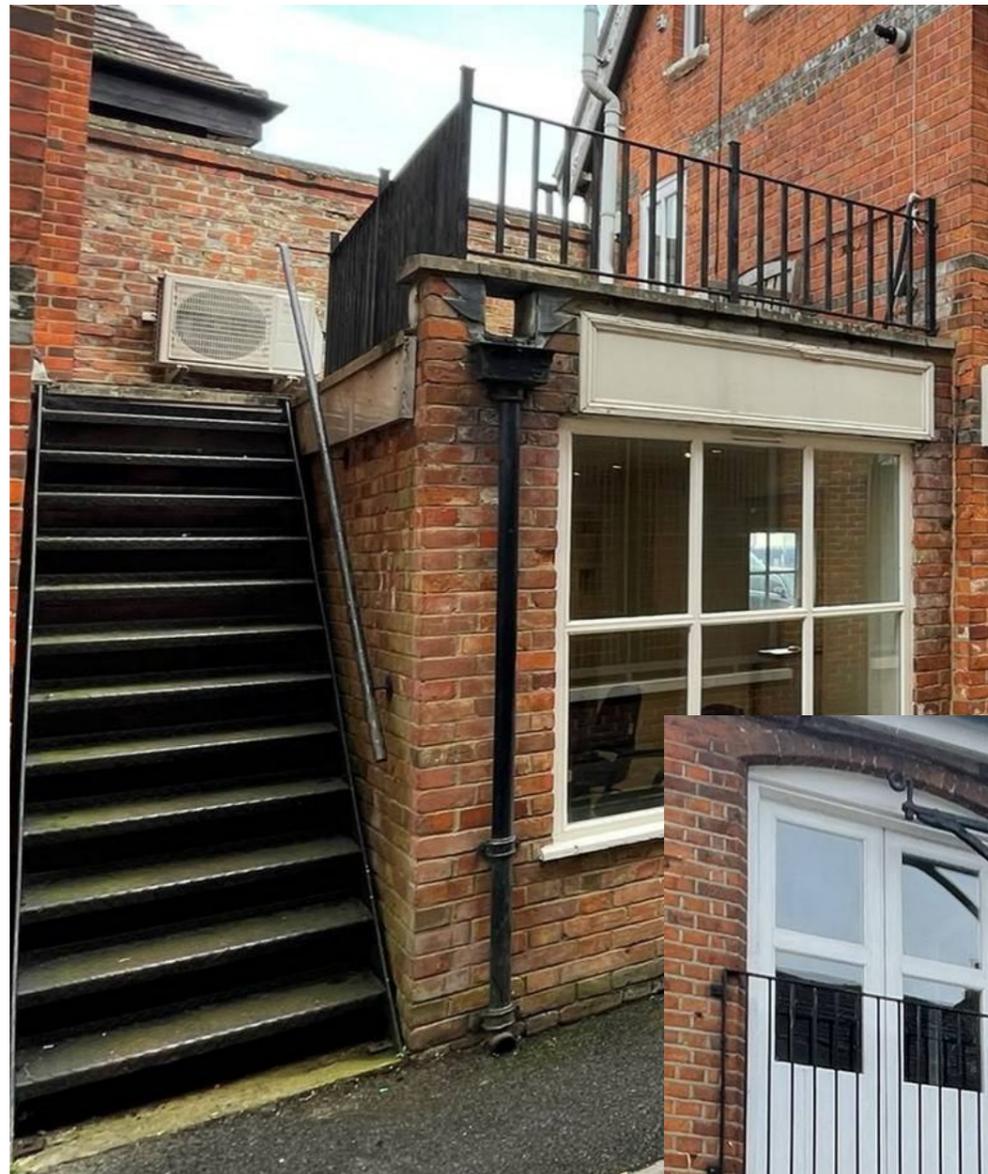
Ironwork.

The use of ironwork in various guises is very noticeable within Newbury Town Centre. Of particular note are the decorative brackets, haylofts, straps, balconies, lanterns, gates and arches.

Also, the use of metal external staircases to access upper levels is very visible within the locale.



Figure 6.16: Examples of Ironwork detailing found within the Conservation Area of Newbury Town Centre.



Appearance (cont.).

The Vernacular Study, plus Concept Vision, have informed the design of each Passage, Yard & Place as well as the individually design dwellings.

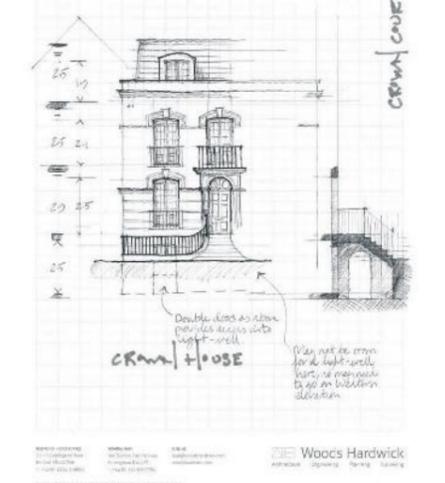
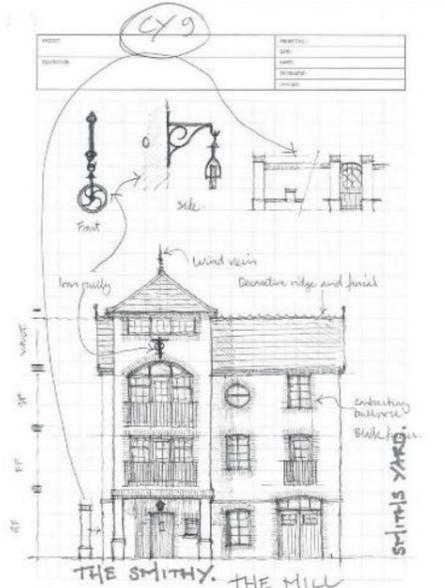
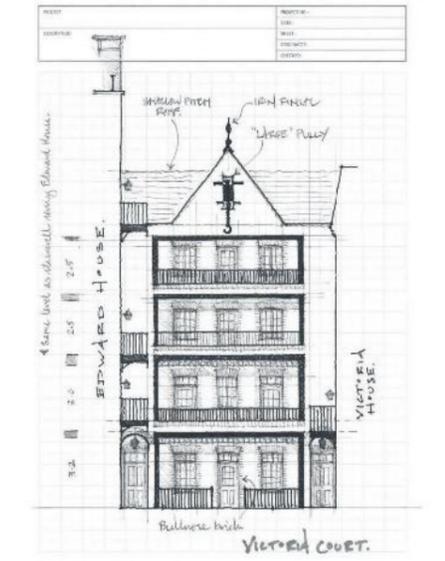
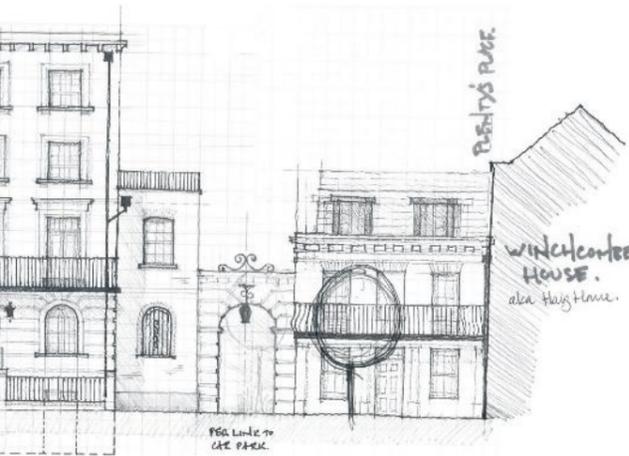
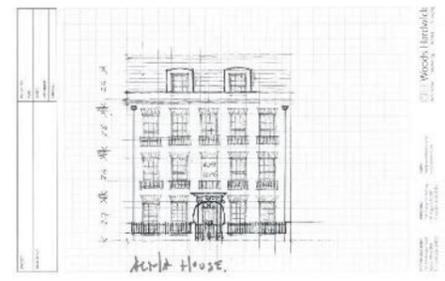
This criteria ensures that the scheme would knit within the existing urban grain and character of the historic core by offering variation and interest within each Passage, Yard & Place . This would assist in creating the appearance that the proposal would present a narrative that the development would have been built over a period of time by differing developers and/or land owners to suit varying needs over time.

To that end, the Design Team explored and prepared a large number of sketch designs for each and every building within the site to ensure that any repetition was kept to an absolute minimum save where repetition was explicitly planned.

The images opposite are a small insight into the exploratory sketches that were prepared, explored, discussed and chosen.



Figure 6.17: Collection of Images - A small number of the Sketch Elevations explored during the Detailed Design Process.



Landscape.

As explored within the preceding sections, landscaping within the Yards, Courts and Places in Newbury is poor. Based on the Vision for this development, a more creative approach to landscaping, along with the creation of amenity and the protection of privacy needs to be considered.

For a tight-knit intimate urban environment to succeed, landscape, both hard and soft, need to be of the highest quality.

In order to ensure the quality proposed will succeed, the Design Team researched successful, award-winning, urban environments for key principles, which are articulated below.

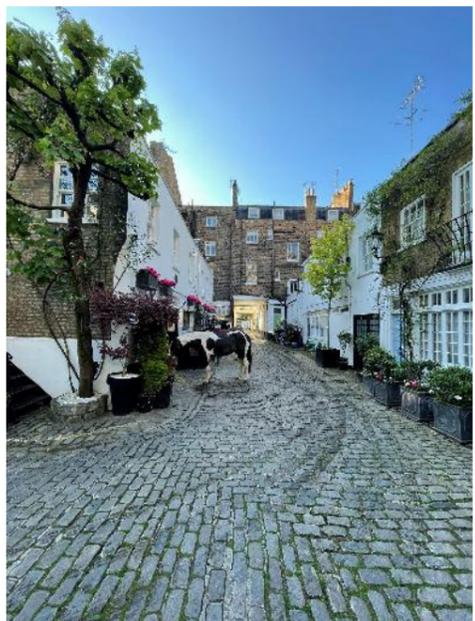
Key Landscape Principles:

- A high quality, traditional, surface treatment.
- Robust tree planting irrigated to ensure longevity and to thrive.
- Opportunity for defensible landscaping to dwelling threshold.
- Opportunity for railings.
- Opportunity for 'green verticality' to offer solar shading, opportunities to gather and to break up the built form massing (i.e. trees, climbers and/or raised planting beds).
- Opportunity for sensory planting.

Examples of such high quality landscape are offered opposite.



Figure 6.18: Collection of Images - All are award winning or nominated for their quality in terms of amenity creation and value, vibrancy and tranquility along with a sense of place, community and ownership.



6.2 Detailed Design - Area-by-Area

Detailed Design - Area by Area.

The above offers a high-level overview of the proposals. The following details each part of the site in turn.

Bartholomew Street Street-scene.

The proposed street-scene has been designed to reflect the juxtaposition of roofscape, scale and materiality found within this locale of Newbury.

The proposed buildings furthest North offer ground floor retail opportunity which then disperses to residential after The Newbury. This in recognition of the migration of retail shopping further North (Bridge Street & Northbrook Street) described in earlier sections of this document.

The street-scene contains Passageways and Carriage Arches recognisable to Newbury that service the buildings to the rear.

The design of the buildings reflect the traditional Georgian proportions found within Newbury along with the detailing and materiality.

The street-scene knits extremely well with the existing surrounding buildings and townscape. This will enhance the Conservation area and character of the Town.



Figure 6.19: Bartholomew Street Proposed Street Scene.





Figure 6.20: Bartholomew Street Proposed View from North.



Figure 6.21: Bartholomew Street Proposed View from South.

Market Place & Cheap Street Street-scene.

Similar to Bartholomew Street, the proposed street-scene has been designed to reflect the juxtaposition of roofscape, scale and materiality found within this locale of Newbury.

Careful attention has been given to Eagle House (the proposed building opposite the Corn Exchange) to ensure it is of a high quality architectural language to compliment the Square.

A tall feature building has been proposed adjacent to the Cinema to terminate the view from Market Place with a strong built vista and also to help screen the modern architecture of the Cinema that might otherwise be detrimental to the view.

The street-scene contains recognisable Passageways along with wider gaps for vehicular movements. The large gap, which serves as the 'Out' route from the Main Route, is enhanced and demarcated with a stone arch adorned with feature Ironwork, an architectural feature that is recognisable to the locality.

The street-scene knits extremely well with the existing surrounding buildings and townscape. This will enhance the Conservation area and character of the Town.



CHEAP STREET

Figure 6.22: Market Place & Cheap Street Proposed Street-scene.



FALKLAND HOUSE
Pedstrian Access to Falkland Place
NEWBURGH HOUSE ULVRITONE HOUSE
CHEAP STREET & MARKET STREET ELEVATION

MARKET PLACE



Figure 6.23: Market Square Proposed View from North.



Market Street Street-scene.

The character of Market Street is completely different to Bartholomew Street, Market Square and Cheap Street. The locality has been subject to 20th Century development, namely the - somewhat brutal - red brick multi-storey car park, the tarmac access to the rooftop service yard of the Kennet Centre, the more contemporary clad Cinema and the very recently completed red brick Apartment-led development opposite the site.

The proposal seeks to demolish part of the car park, the Kennet Centre and the ramp to the roof-top. The design Team then considered what the appropriate architectural response should be in the 'gap' created, a modern language or something more traditional.

The design Team considered that a more traditional language would be most appropriate given the Vision of the site and the criteria that Vision requires.

Therefore. The proposed street-scene contains a large building that relates to the proposed works to the car park before cascading down to the Cinema.



MARKET STREET

Figure 6.24: Market Place & Cheap Street Proposed Street-scene.

The proposed building line is broken only by the 'In' access to the Main Route within the site. This access is accentuated with an uplift in detailing and fenestration to the corners of the buildings, creating a gateway into the site. Furthermore, the access is demarcated with a stone arch adorned with feature Ironwork offering a synergy with the 'Out' on Cheap Street.

The building is deliberately designed to be bold in the street-scene, drawing attention away from the car park and cinema the proposed language is reflective of a Georgian/Victorian workhouse and/or manufacturing character.



PELLOW HOUSE

Pedestrian Access Existing ESS
to IRON YARD

Plenty's Place.

Key Characteristics are:

Access.

- Pedestrian & Vehicular access.
- Vehicular ingress from the South off Market Street, Vehicular egress only onto Cheap Street to the East.

Architectural Narrative.

- The perimeter buildings are the largest buildings on the site. The Main Route (*Plenty's Place*) through the site also plays an important role within the scheme as it is perhaps the most publicly accessible space, beyond which are the intimate courts, yards and places.
- *Plenty's Place* is therefore of a grander scale and architecture than the Yards and Courts, lending itself to take the guise of a collection of large houses and/or converted municipal buildings, large workshops and utilitarian buildings.
- The space contains built form vistas and pinch-points with well executed detailing to ensure that the space has interest and animation from any viewpoint.

Material.

- One will find more brick buildings in this space that the subservient Yards and Courts. The material along *Plenty's Place* will be a combination of stock brick, render and some painted brick. The Roofs will be a combination of slate and some plain tile.

Amenity.

- Dwellings have amenity in the form of roof terraces, and/or balconies and/or private (dwarf) walled and railed front courts and/or rear gardens.
- Furthermore, the scheme benefits from a large roof-top community hub (amenity) located on top of *Edward House* and *Pellow House* for all residents to enjoy.

Landscape.

- It is important to provide good quality (in terms of design and quantum) landscaping to break up the space and supplement the built form.
- The space has been afforded linear areas of raised planting beds and ornamental tree planting to soften the space and also provide further interest as one passes through.
- Facades and thresholds will be defined with a mixture of pots, urns and troughs complete with a mix of flowers, perennials, herbs, shrubs and climbers.
- The surface treatment is to be cobble - laid in a fan pattern between the two channels - with a linear dish channels down subliminally guiding a driver through the space
- *Plenty's Place* will be furnished with a communal outdoor water supply to assist with the upkeep of the plants.
- A Management Company will manage and maintain the hard and soft landscaping, inclusive of the pots and plants.



Figure 6.25: Ground Floor Layout of Plenty's Place.

Security.

- *Plenty's Place* will be 'open' at all times to pedestrians. However, vehicles entering the site will stop due to an automated bollard beneath the entrance arch. Residents with car parking within the site will be able to continue along *Plenty's Place* via a keycode or fob that will retract the bollard.
- Visitors (such as deliveries) that enter *Plenty's Place* will pull over to the right (a visitor/delivery bay) and contact the Concierge who will manage the entry into the site.
- Please see the Security section for more information.

General.

- The Refuse Strategy, Cycle Parking Provision, Car Parking Provision and Servicing are detailed in the latter section(s) of this document.



Figure 6.26: Plenty's Place Elevation (Westwards) - Edward House, Victoria House, Herborough House & Charlton House.



Figure 6.27: Plenty's Place Elevation (Northwards) - Charlton House, Dolman House & Whitesmith House.



Figure 6.28: Plenty's Place Elevation (Westwards) - Whitesmith House & Coppersmith House.



Figure 6.29: Plenty's Place Elevation (Northwards) - Kennet House & Craven House.



Figure 6.30: Plenty's Place Elevation (Southwards) - Craven House.



Figure 6.31: Plenty's Place Elevation (Southwards & Eastwards) - The Fane, Winchcombe House, The Workshop & Pellow House.



Figure 6.32: Plenty's Place - View from Market Street Entrance Northwards.

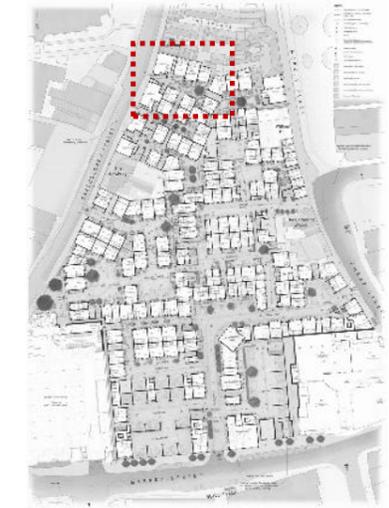


Figure 6.33: Plenty's Place - View from Plenty's Place Westwards towards Ashton Thicket Entrance.



Figure 6.34: Plenty's Place - View from Plenty's Place Exit Northwards towards Ashton Thicket Entrance.





Artist's Mews (North).

Key Characteristics are:

Access.

- Pedestrian access only.
- May be accessed via a Passageway from Bartholomew Street to the West, Market Square - via *Eagle Yard* - to the East and through the wider development - via Artist's Mews (South).

Architectural Narrative.

- A collection of similar architectural style buildings representative of a community of arthouses and workshops.
- Plots 4 & 15 have been design with a feature gable to enhance the vista from the South and West respectively.

Material.

- The predominate facing material is white painted brick.

Amenity.

- Dwellings have amenity in the form of spill-out space to the front and/or roof terraces.
- The spill-out space can then be furnished with benches and tables.
- In addition, the mews area itself offers communal amenity space to gather within and enjoy.
- Furthermore, the scheme benefits from a large roof-top community hub (amenity) located on top of *Edward House* and *Pellow House* for all residents to enjoy.

Landscape.

- Spill-out space and thresholds will be defined with a mixture of pots, urns and troughs complete with a mix of flowers, perennials, herbs, shrubs and climbers.
- A feature tree is proposed at the Eastern end of the Mews to enhance the vista and provide green verticality in the space.
- The surface treatment is to be cobbles with a linear dish channel down the middle.
- The space will be furnished with a communal outdoor water supply to assist with the upkeep of the plants.
- A Management Company will manage and maintain the hard and soft landscaping, inclusive of the pots and plants.

Security.

- The space will have a lockable gate at the entrance to Bartholomew Street. This along with the wider security strategy, will secure the space from unwanted visitors between the hours of 9pm to 7am.
- Please see the Security section for more information.

General.

The Refuse Strategy, Cycle Parking Provision, Car Parking Provision and Servicing are detailed in the latter section (s) of this document.



Figure 6.35: Ground Floor Layout of Artist's Mews (North).



Figure 6.36: Bartholomew Street Elevation.



Figure 6.37: Artist's Mews (North) Elevation (Northwards).



Figure 6.38: Artist's Mews (North) Elevation (Southwards).



Figure 6.39: Artist's Mews (North) Elevation (Eastwards).

Artist's Mews (South).

Key Characteristics are:

Access.

- Pedestrian access only.
- May be accessed via a Passageway from Bartholomew Street to the West, Artist's Mews (North) to the North, Crown Court and the wider development to the South.

Architectural Narrative.

- A continuation of the Artist's Mews (North) language enters the space from the North.
- Kiln House is the dominant building in the space, ornamented and of a scale that successfully terminates the vista and overlooks the whole area.
- Tucked in the North-East corner is a traditional cottage, set back from the building line with a bay window overlooking a courtyard.
- The Southern building line contains a varied arrangement of cottages, that either back onto or front onto the space. The rear of the dwellings are still well design to compliment the space.

Material.

- The predominate facing material is painted brick, white, cream and/or ivory.
- However, *Kiln House* is envisaged in the locally familiar grey brick with red feature brick.

Amenity.

- Dwellings have amenity in the form of spill-out space to the front and/or roof terraces, and/or private (dwarf) walled and railed front courts..
- The spill-out space can then be furnished with benches and tables.
- In addition, the mews area itself offers communal amenity space to gather within and enjoy.

- Furthermore, the scheme benefits form a large roof-top community hub (amenity) located on top of *Edward House* and *Pellow House* for all residents to enjoy.

Landscape.

- Spill-out space and thresholds will be defined with a mixture of pots, urns and troughs complete with a mix of flowers, perennials, herbs, shrubs and climbers.
- A parade of ornamental trees are proposed in a linear arrangement down the centre of the mews. This will enhance the vista and provide green verticality in the space.
- The surface treatment is to be cobbles with a linear dish channel down either side which may be used to help define the extent of the spill-out space.
- The space will be furnished with a communal outdoor water supply to assist with the upkeep of the plants.
- A Management Company will manage and maintain the hard and soft landscaping, inclusive of the pots and plants.

Security.

- The space will have a lockable gate at the entrance to Bartholomew Street. This along with the wider security strategy, will secure the space from unwanted visitors between the hours of 9pm to 7am.
- Please see the Security section for more information.

General.

The Refuse Strategy, Cycle Parking Provision, Car Parking Provision and Servicing are detailed in the latter section (s) of this document.

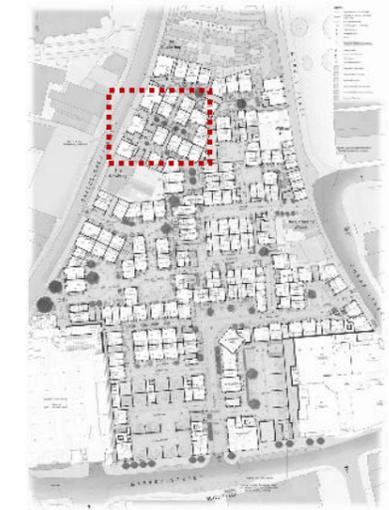


Figure 6.40: Ground Floor Layout of Artist's Mews (South).



Figure 6.41: Artist's Mews (South) Elevation (Northwards).

Figure 6.42: Artist's Mews (South) Elevation (Eastwards).

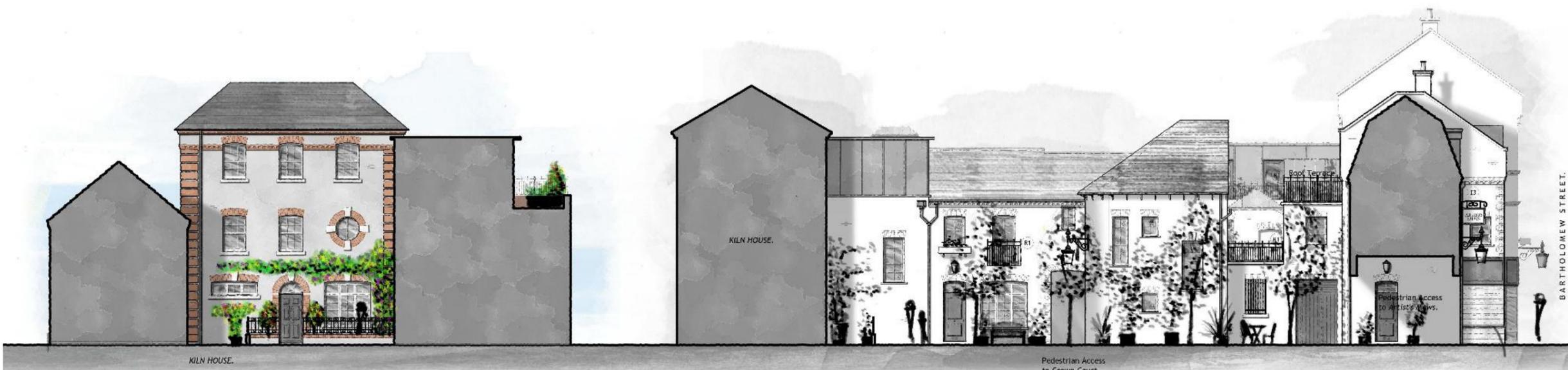


Figure 6.43: Artist's Mews (North) Elevation (Kiln House).

Figure 6.44: Artist's Mews (North) Elevation (Southwards).



Figure 6.46: Artist's Mews (South) - View from Artist's Mews (South) Northwards towards Artist's Mews (North).



Eagle Yard.

Key Characteristics are:

Access.

- Pedestrian access only.
- May be accessed via a Passageway from Market Square to the East, Bartholomew Street - via *Artist's Mews (North)* to the West and *Falkland Place* to the South through ginnels.

Architectural Narrative.

- A collection of modest courtyard houses that vary in appearance and are carefully designed to compliment one another.
- Navigation through the space is via ginnels that are identified architecturally by the gable to the West, *The Gallery*, and the large mews dwelling to the South, *Eagle Lodge*, complete with hayloft ironwork.
- Eagle House has been carefully designed to be of the grandeur needed to address and enhance Market Place.

Material.

- The predominate facing material is light coloured painted brick, comprising white, cream, ivory etc. However, special interest may be introduced, such as rose, to add further interest and joy to the space.

Amenity.

- Dwellings have amenity in the form of spill-out space to the front and/or roof terraces, and/or private (dwarf) walled and railed front courts..

- The spill-out space can then be furnished with benches and tables.
- In addition, the Yard itself offers communal amenity space to gather within and enjoy.
- Furthermore, the scheme benefits form a large roof-top community hub (amenity) located on top of *Edward House* and *Pellow House* for all residents to enjoy.

Landscape.

- Spill-out space and thresholds will be defined with a mixture of pots, urns and troughs complete with a mix of flowers, perennials, herbs, shrubs and climbers.
- A large feature tree is proposed at the in the middle of the space, offering green verticality, solar shading and a gathering space (with a bench etc).
- The Eastern side of the Yard has a small cluster of trees that will help to define the space and obscure the *back of house* fenestration to the ground floor of *Eagle House*.
- The surface treatment is to be cobbles with a linear dish channel down either side which may be used to help define the extent of the spill-out space.
- The space will be furnished with a communal outdoor water supply to assist with the upkeep of the plants.
- A Management Company will manage and maintain the hard and soft landscaping, inclusive of the pots and plants.

.Security.

- The space will have a lockable gate at the entrance to Market Place. This along with the wider security strategy, will secure the space from unwanted visitors between the hours of 9pm to 7am.

- Please see the Security section for more information.

General.

- The Refuse Strategy, Cycle Parking Provision, Car Parking Provision and Servicing are detailed in the latter section(s) of this document.



Figure 6.47: Ground Floor Layout of Eagle Yard.



Figure 6.48: Market Place Elevation (Eagle House).



Figure 6.49: Eagle Yard Elevation (Southwards).



Figure 6.50: Eagle Yard Elevation (Westwards).



Figure 6.51: Eagle Yard Elevation (Northwards).



Figure 6.53: Bartholomew Street Elevation.



Figure 6.54: Crown Court Elevation (Northwards).



Figure 6.56: Crown Court Elevation (Eastwards) - The Manor

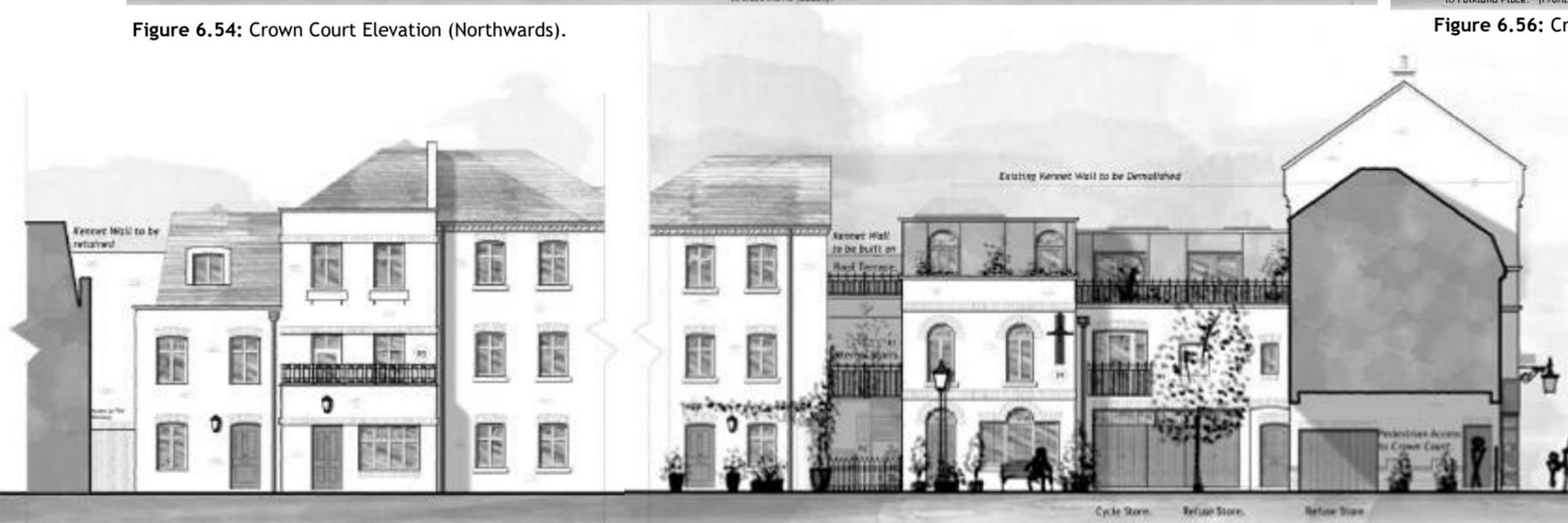


Figure 6.57: Crown Court Elevation (Eastwards & Southwards).



Figure 6.58: Crown Court Elevation (Southwards) - Crown House.

Falkland Place.

Key Characteristics are:

Access.

- Pedestrian & Vehicular access.
- May be accessed by vehicle from the East off Cheap Street or by pedestrian only access from the East off Cheap Street/Market Place, from the North via *Eagle Court*, the West via *Crown Court* and *Alma Court*, and the South via *Smith's Yard*.

Architectural Narrative.

- A collection of modest courtyard houses and townhouses that vary in appearance and are carefully designed to compliment one another.
- *Falkland Place* is split into 3 sections, The Catherine Wheel (yellow), The Western Section (green) and The Northern Section (blue).
- The Catherine Wheel Section contains the vehicular access off Cheap Street, sited adjacent to the Northern boundary of The Catherine Wheel. The view from Cheap Street is terminated by a Coach-house with a drive through Carriage Arch.
- The Western Section is a court/Place framed on all sides by built form and offers a glimpsed view through a Passageway/ginnel to *Alma Court* to the West.
- The Northern Section is access by a further Carriage Arch into an irregular courtyard that is well overlooked with active frontage and offer glimpsed views through passageways/ginnels to *Eagle Yard* & *Crown Court*.

Material.

- The built form that fronts onto Cheap Street/Market Place are designed to be of a locally distinctive brick with a faux shop front at ground floor level.

- *Falkland House*, which terminates the vista from Bear Street, is proposed to appear a little more municipal, with lighter materials, render and painted brick.
- *Falkland Place* itself will contain a varied palette of materials, red/orange brick and light coloured painted brick with either slate roofs or brown plain tile.

Amenity.

- Dwellings have amenity in the form of spill-out space to the front and/or roof terraces, and/or balconies and/or private (dwarf) walled and railed front courts.
- The spill-out space can then be furnished with benches and tables.
- In addition, the Place itself offers communal amenity space to gather within and enjoy.
- Furthermore, the scheme benefits form a large roof-top community hub (amenity) located on top of *Edward House* and *Pellow House* for all residents to enjoy.

Landscape.

- Spill-out space and thresholds will be defined with a mixture of pots, urns and troughs complete with a mix of flowers, perennials, herbs, shrubs and climbers.
- The surface treatment is to be cobbles with a linear dish channel down the centre of the East-West route.
- The Court will be furnished with a communal outdoor water supply to assist with the upkeep of the plants.
- A Management Company will manage and maintain the hard and soft landscaping, inclusive of the pots and plants.

Security.

- Falkland Place will be 'open' at all times. However, the passageways/ginnels that provide pedestrian access to neighbouring courts will have a lockable gates that will only restrict non-resident access between the hours of 9pm to 7am.

- Please see the Security section for more information.

General.

- The Refuse Strategy, Cycle Parking Provision, Car Parking Provision and Servicing are detailed in the latter section(s) of this document.



Figure 6.59: Ground Floor Layout of Falkland Place.



Figure 6.60: Cheap Street & Market Place Elevation (Westwards).



Figure 6.61: Falkland Place (Western & The Catherine Wheel Section) Elevation (Southwards).



Figure 6.62: Falkland Place (Northern Section) Elevation (Westwards).



Figure 6.63: Falkland Place (Northern Section) Elevation (Northwards).

Smith's Yard.

Key Characteristics are:

Access.

- Pedestrian & Vehicular access.
- May be accessed by vehicle from the South off *Plenty's Place*, via a Carriage Arch, or by pedestrian only access from the North via *Falkland Place*, the South via *Plenty's Place*, the West via *Alma Court*.

Architectural Narrative.

- A collection of modest courtyard houses and townhouses that vary in appearance and are carefully designed to compliment one another.
- The majority of visitors will enter Smith's Yard via a Carriage Arch off *Plenty's Place*.
- The architectural language to the West of the above entrance (such as *The Bellows*) is proposed to be utilitarian in character, subservient to *The Forge* opposite, which is a 3 storey townhouse.
- The dwellings to the South of the yard are of a courtyard house character, as are the dwellings to the North save for a couple of gable fronted town houses, which help to punctuate the yard.
- The western vista, *The Smithy*, is deliberately designed to dominate the space. Along with it's high frontage boundary wall, the building is designed to be a little more industrial in appearance and grander in scale.

Material.

- The courtyard houses are to be light coloured painted brick. The townhouses may also be painted brick but of a different (light) shade.
- *The Smithy* is proposed to be a recognisable red/orange brick with a dark red feature brick.

- *The Forge* will be similar save for the solid courses and cills, which may be painted white.
- *The Bellows* is envisaged to be of a buff London stock brick.

Amenity.

- Dwellings have amenity in the form of spill-out space to the front and/or roof terraces, and/or balconies and/or private (dwarf) walled and railed front courts and/or rear gardens.
- The spill-out space can then be furnished with benches and tables.
- In addition, the Yard itself offers communal amenity space to gather within and enjoy.
- Furthermore, the scheme benefits from a large roof-top community hub (amenity) located on top of *Edward House* and *Pellow House* for all residents to enjoy.

Landscape.

- A large feature tree is proposed in the North-Eastern corner of the Yard, that will offer a landscaped vista from the South and West as well as assisting to break up the space with green verticality.
- Spill-out space and thresholds will be defined with a mixture of pots, urns and troughs complete with a mix of flowers, perennials, herbs, shrubs and climbers.
- The surface treatment is to be cobbles with a linear dish channel down the centre of the space.
- The Court will be furnished with a communal outdoor water supply to assist with the upkeep of the plants.
- A Management Company will manage and maintain the hard and soft landscaping, inclusive of the pots and plants.

Security.

- *Smith's Yard* will be 'open' at all times. However, the passageways/ginnels that provide pedestrian access to neighbouring courts will have a lockable gates that will only restrict non-resident access between the hours of 9pm to 7am.

General.

- Please see the Security section for more information.
- The Refuse Strategy, Cycle Parking Provision, Car Parking Provision and Servicing are detailed in the latter section(s) of this document.



Figure 6.64: Ground Floor Layout of Smith's Yard.



Figure 6.65: Smith's Yard Elevation (Westwards) - The Smithy.

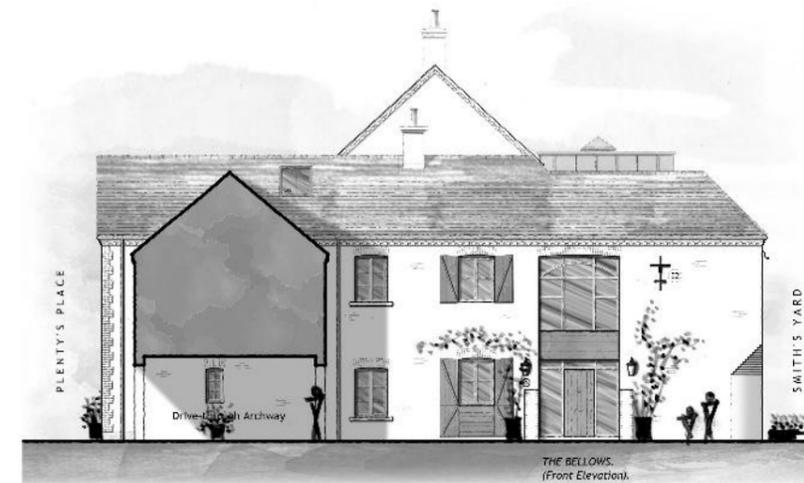


Figure 6.66: Smith's Yard Elevation (Westwards) - The Bellows.



Figure 6.67: Smith's Yard Elevation (Eastwards) - The Forge.



Figure 6.68: Smith's Yard Elevation (Northwards).



Figure 6.69: Smith's Yard - View from Smith's Yard towards The Smithy.

