

Alma Court (North).

Key Characteristics are:

Access.

- Pedestrian & Vehicular access.
- May be accessed by vehicle from the West off Bartholomew Street, via a large Carriage Arch, or by pedestrian only access from the North-East via *Crown Court*, the East via *Falkland Place*, and the South-East via *Smith's Yard*.

Architectural Narrative.

- A collection of modest courtyard houses and townhouses that vary in appearance and are carefully designed to compliment one another.
- The majority of visitors will enter *Alma Court (North)* via a Carriage Arch off Bartholomew Street.
- The vista from the Carriage Arch entrance is terminated by a composition two grander dwellings with sub-basements, *Gerard House* and *Kimber House*.
- Glimpses of pedestrian connectivity are also visible from this area by way of a narrow ginnel - between *The Barn* and *Gerard House* - and the Communal Garden leading to *Crown Court*.
- The vista Northwards from Alma Court (South) (plot 50) has been designed to resemble a former shop, complete with shop frontage architectural language.

Material.

- The houses are to be a complimentary variety of light coloured painted brick. There may also be some dwellings finished in a buff stock brick.
- Roof tiling will be a combination of differing slates and some plain tile.

Amenity.

- Dwellings have amenity in the form of spill-out space to the front and/or roof terraces, and/or balconies and/or private (dwarf) walled and railed front courts and/or rear gardens.
- The spill-out space can then be furnished with benches and tables.
- In addition, the Court itself offers communal amenity space to gather within and enjoy.
- Furthermore, the scheme benefits from a large roof-top community hub (amenity) located on top of *Edward House* and *Pellow House* for all residents to enjoy.

Landscape.

- A large feature tree is proposed at the end of the vista from the West, this will offer a landscaped vista as well as assisting to break up the space with green verticality.
- Spill-out space and thresholds will be defined with a mixture of pots, urns and troughs complete with a mix of flowers, perennials, herbs, shrubs and climbers.
- The surface treatment is to be cobbles with a linear dish channel down the centre of the space.
- The Court will be furnished with a communal outdoor water supply to assist with the upkeep of the plants.
- A Management Company will manage and maintain the hard and soft landscaping, inclusive of the pots and plants.

Other.

*Alma Court* (in totality) also offers servicing access to *The Newbury*. Please see the Servicing Section later in this document.

Security.

- *Alma Court* will be 'open' at all times. However, the passageways/ginnels that provide pedestrian access to neighbouring courts will have a lockable gates that will only restrict non-resident access between the hours of 9pm to 7am.

General.

- Please see the Security section for more information.
- The Refuse Strategy, Cycle Parking Provision, Car Parking Provision and Servicing are detailed in the latter section(s) of this document.



Figure 6.70: Ground Floor Layout of Alma Court (North).



Figure 6.71: Bartholomew Street Elevation.



Figure 6.72: Alma Court (North) Elevation (Southwards).



Figure 6.73: Alma Court (North) Elevation (Northwards).



Figure 6.74: Alma Court (North) Elevation (Westwards) - Gerard & Kimber House.



Figure 6.75: Alma Court Elevation (Westwards).



Figure 6.76: Alma Court Elevation (Eastwards).



Figure 6.77: Alma Court (North) Proposed View from West.



Figure 6.78: Alma Court (South) Proposed View from West.

Alma Court (North).

Key Characteristics are:

Access.

- Pedestrian & Vehicular access.
- Vehicle egress only from the Court to West onto Bartholomew Street, via a large Carriage Arch.
- Pedestrian access may also be from Bartholomew Street, or by the pedestrian only access from the East via *Smith's Yard* and to the North and South via *Ashton Thicket*.

Architectural Narrative.

- A collection of modest courtyard houses and townhouses that vary in appearance and are carefully designed to compliment one another.
- The majority of visitors will enter *Alma Court (South)* via a Carriage Arch off Bartholomew Street.
- The vista from the Carriage Arch entrance is terminated by a composition two grander dwellings that create a pinch-point into the space beyond.
- Glimpses of pedestrian connectivity are also visible from this area by way of a narrow ginnel leading to *Ashton Thicket* and the passageway leading to *Smith's Yard*.
- The vista Northwards from Alma Court (South) (plot 50) has been designed to resemble a former shop, complete with shop frontage architectural language.

Material.

- The houses are to be a complimentary variety of light coloured painted brick. There may also be some dwellings finished in a buff stock brick.
- Roof tiling will be a combination of differing slates and some plain tile.

Amenity.

- Dwellings have amenity in the form of spill-out space to the front and/or roof terraces, and/or balconies and/or private (dwarf) walled and railed front courts and/or rear gardens.
- The spill-out space can then be furnished with benches and tables.
- In addition, the Court itself offers communal amenity space to gather within and enjoy.
- Furthermore, the scheme benefits from a large roof-top community hub (amenity) located on top of *Edward House* and *Pellow House* for all residents to enjoy.

Landscape.

- A large feature tree is proposed at the end of the vista from the East, this will offer a landscaped vista as well as assisting to break up the space with green verticality.
- Spill-out space and thresholds will be defined with a mixture of pots, urns and troughs complete with a mix of flowers, perennials, herbs, shrubs and climbers.
- The surface treatment is to be cobbles with a linear dish channel down the centre of the space.
- The Court will be furnished with a communal outdoor water supply to assist with the upkeep of the plants.
- A Management Company will manage and maintain the hard and soft landscaping, inclusive of the pots and plants.

Other.

*Alma Court* (in totality) also offers servicing access to *The Newbury*. Please see the Servicing Section later in this document.

Security.

- *Alma Court* will be 'open' at all times. However, the passageways/ginnels that provide pedestrian access to neighbouring courts will have a lockable gates that will only restrict non-resident access between the hours of 9pm to 7am.

General.

- Please see the Security section for more information.
- The Refuse Strategy, Cycle Parking Provision, Car Parking Provision and Servicing are detailed in the latter section(s) of this document.



Figure 6.79: Ground Floor Layout of Alma Court (North).



Figure 6.80: Alma Court (South) Elevation (Northwards).



Figure 6.81: Alma Court (South) Elevation (Eastwards) - Alma Cottage.



Figure 6.82: Alma Court (South) Elevation (Northwards).



Figure 6.83: Alma Court (South) Elevation (Eastwards).



Figure 6.84: Alma Court (South) Elevation (Southwards).

Ashton Thicket.

Key Characteristics are:

Access.

- Pedestrian access only.
- May be accessed from the Kennett Multi-Storey Car Park to the West, *Alma Court (South)* to the North, *Plenty's Place* to the East and *Ashton Court* to the South.

Architectural Narrative.

- A collection of modest courtyard houses and townhouses that vary in appearance and are carefully designed to compliment one another.
- The space is design to accommodate a heavier degree of footfall as it provides convenient access to car parking and a large cycle storage area.
- The architectural language to the Northern side is a collection of differing courtyard houses whereas the language to the South is more repetitive, resembling a collection of converted workshops.
- The entrance to the East off *Plenty's Place* is celebrated by way of a distinctive archway, re-enforcing that *Ashton Ticket* is an important pedestrian linkage.

Material.

- The buildings are to be light coloured painted brick.
- Roof tiling will be a combination of differing slates and some plain tile.

Amenity.

- Dwellings have amenity in the form of spill-out space to the front and/or roof terraces.
- The spill-out space can then be furnished with benches and tables.
- In addition, the Thicket itself offers communal amenity space to gather within and enjoy.
- Furthermore, the scheme benefits form a large roof-top community hub (amenity) located on top of *Edward House* and *Pellow House* for all residents to enjoy.

Landscape.

- The space will be enhanced with a parade of low-level planting beds rich with verdant shrubs, and ornamental blossom trees that will bring a vibrant colour and scent to tis well used space.
- Spill-out space and thresholds will be defined with a mixture of pots, urns and troughs complete with a mix of flowers, perennials, herbs, shrubs and climbers.
- The surface treatment is to be cobbles with a linear dish channels assisting in the definition of spill-out space.
- The Court will be furnished with a communal outdoor water supply to assist with the upkeep of the plants.
- A Management Company will manage and maintain the hard and soft landscaping, inclusive of the pots and plants.

Security.

- *Ashton Thicket* will be 'open' at all times. However, the passageways/ ginnels that provide pedestrian access to neighbouring courts will have a lockable gates that will only restrict non-resident access between the hours of 9pm to 7am.

General.

- Please see the Security section for more information.
- The Refuse Strategy, Cycle Parking Provision, Car Parking Provision and Servicing are detailed in the latter section(s) of this document.



Figure 6.85: Ground Floor Layout of Ashton Thicket.



Figure 6.86: Plenty's Place Elevation (Westwards) - Entrance to Ashton Thicket.



Figure 6.87: Ashton Thicket Elevation (Southwards) - Herborough House.

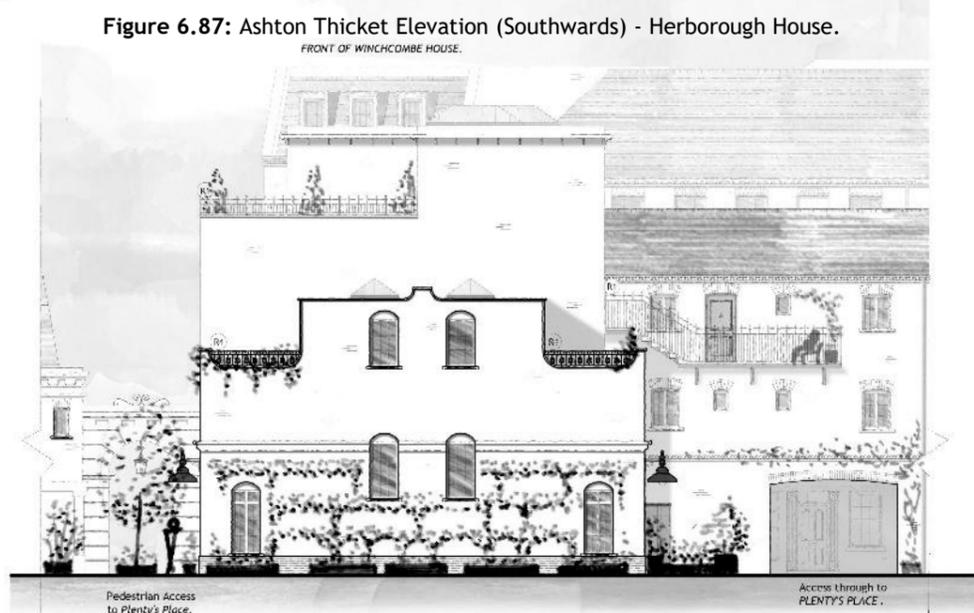


Figure 6.88: Ashton Thicket Elevation (Eastwards).

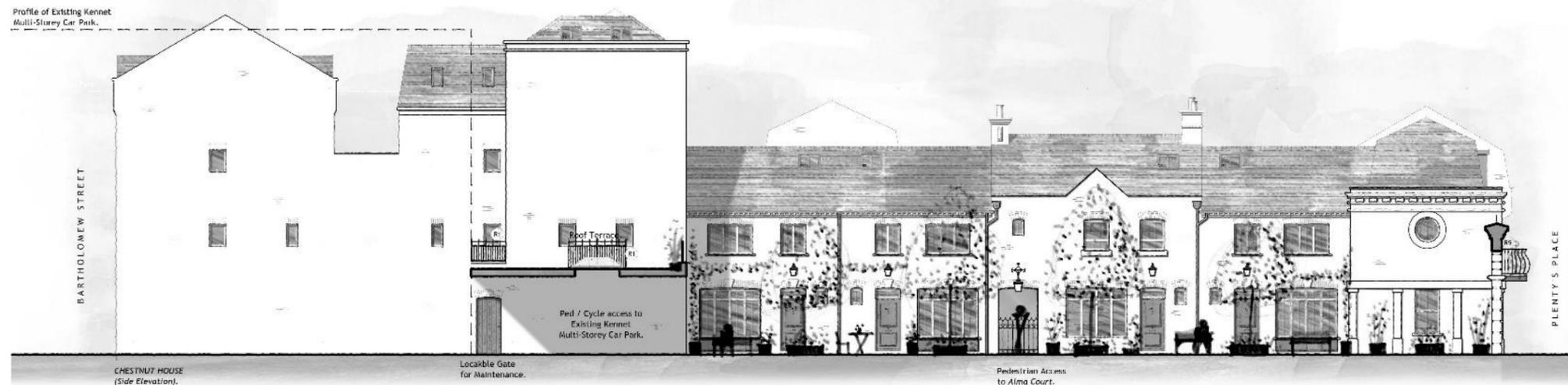


Figure 6.89: Ashton Thicket Elevation (Northwards).



Figure 6.90: Ashton Thicket Proposed View from West towards Plenty's Place.



Ashton Court.

Key Characteristics are:

Access.

- Pedestrian & Vehicular access.
- *Ashton Court* provides access to 6 car parking spaces and pedestrian access to buildings and *Ashton Thicket* to the North.

Architectural Narrative.

- A transition from converted workshops to larger scale converted utilitarian buildings.
- The architectural language to the Northern side is repetitive, resembling a collection of converted workshops.
- The language to the Southern side resembles a former *coaching yard*, which ground floor openings for the storage of coaches, with (staff) living accommodation above.
- The entrance to the East off *Plenty's Place* is by way of a modest Coach-Arch.

Material.

- The buildings are to be light coloured painted brick.
- Roof tiling will be a combination of differing slates and some plain tile.

Amenity.

- The dwellings to the North have amenity in the form of spill-out space to the front.
- The dwellings to the West have spill-out space, and/or roof terraces, and/or private (dwarf) walled and railed front courts and/or rear gardens.

- The spill-out space can then be furnished with benches and tables.
- The dwellings to the South benefit from balconies and walkways that offer casual amenity.
- Furthermore, the scheme benefits from a large roof-top community hub (amenity) located on top of *Edward House* and *Pellow House* for all residents to enjoy.

Landscape.

- A couple of larger trees are proposed within the Northern side of the Court, these help to define the extent of spill-out space and vehicle maneuvering space.
- Spill-out space and thresholds will be defined with a mixture of pots, urns and troughs complete with a mix of flowers, perennials, herbs, shrubs and climbers.
- The surface treatment is to be cobbles with a linear dish channel down the centre of the space.
- The Court will be furnished with a communal outdoor water supply to assist with the upkeep of the plants.
- A Management Company will manage and maintain the hard and soft landscaping, inclusive of the pots and plants.

Security.

- *Ashton Court* will be 'open' at all times. However, the passageways/ginnels that provide pedestrian access to neighbouring courts will have a lockable gates that will only restrict non-resident access between the hours of 9pm to 7am.

- Please see the Security section for more information.

General.

- The Refuse Strategy, Cycle Parking Provision, Car Parking Provision and Servicing are detailed in the latter section(s) of this document.



Figure 6.91: Ground Floor Layout of Ashton Court.



Figure 6.92: Plenty's Place Elevation (Westwards) - Entrance to Ashton Court.



Figure 6.93: Ashton Court Elevation (Northwards) - Herborough House.



Figure 6.94: Ashton Court to Thicket Elevation (Westwards).

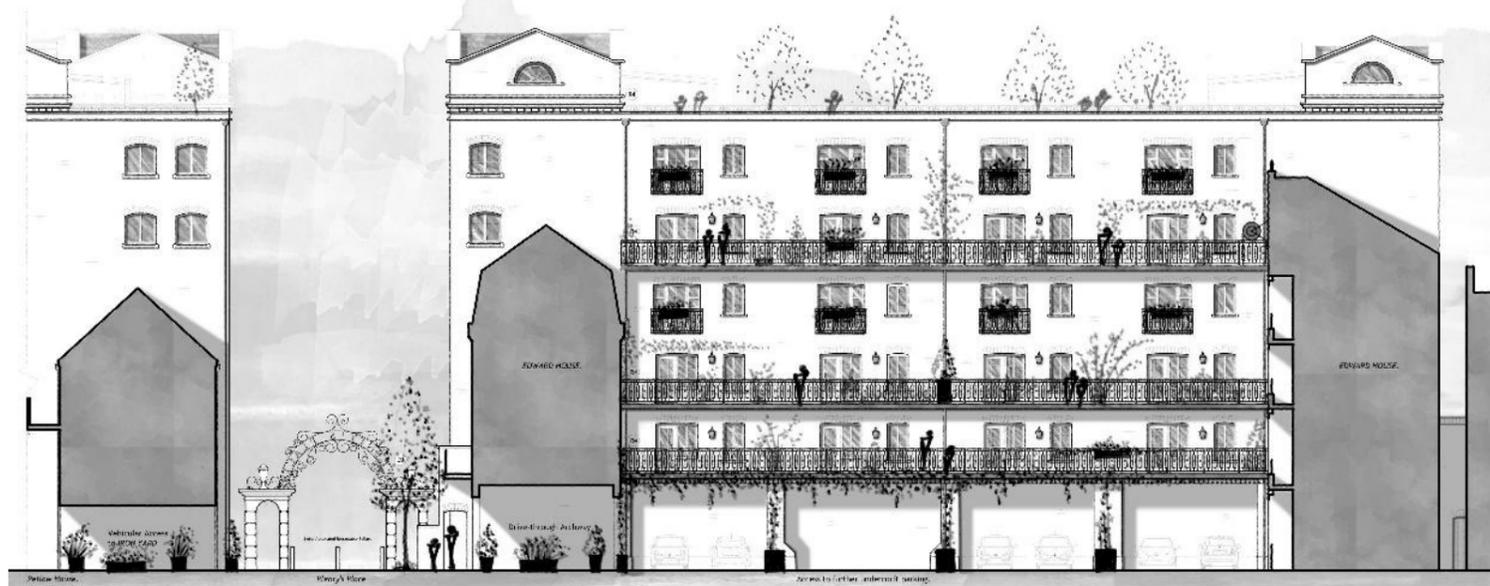


Figure 6.95: Ashton Court Elevation (Southwards) - Victoria House.



Figure 6.60: Ashton Court Proposed View from West towards Plenty's Place.



Victoria Court.

Key Characteristics are:

Access.

- Pedestrian & Vehicular access.
- *Victoria Court* provides access to 20 car parking spaces and pedestrian access to buildings.

Architectural Narrative.

- Concluding the transition Southwards from converted workshops - further North - to larger scale converted utilitarian buildings.
- The language of the Court resembles a former *coaching yard*, which ground floor openings for the storage of coaches, with (staff) living accommodation above.
- The entrance to the East off *Plenty's Place* is by way of a modest Coach-Arch.

Material.

- The buildings are to be light coloured painted brick.
- Roof tiling will be slates.

Amenity.

- The dwellings to the West have amenity in the form of spill-out space to the front and then balconies above ground floor.
- The dwellings to the North and South benefit from balconies and walkways that offer casual amenity.
- Furthermore, the scheme benefits from a large roof-top community hub (amenity) located on top of *Edward House* and *Pellow House* for all residents to enjoy.

Landscape.

- The surface treatment is to be cobbles with a linear dish channel down the centre of the space.
- The Court will be furnished with a communal outdoor water supply to assist with the upkeep of the plants.
- A Management Company will manage and maintain the hard and soft landscaping, inclusive of the pots and plants.

Security.

- *Ashton Court* will be 'open' at all times. However, the passageways/ginnels that provide pedestrian access to neighbouring courts will have a lockable gates that will only restrict non-resident access between the hours of 9pm to 7am.
- Please see the Security section for more information.

General.

- The Refuse Strategy, Cycle Parking Provision, Car Parking Provision and Servicing are detailed in the latter section(s) of this document.



Figure 6.61: Ground Floor Layout of Victoria Court.



Figure 6.62: Plenty's Place Elevation (Westwards) - Entrance to Victoria Court.



Figure 6.63: Victoria Court Elevation (Northwards) - Victoria House.



Figure 6.63: Victoria Court Elevation (Southwards) - Edward House.



Figure 6.63: Victoria Court Elevation (Westwards).

## Iron Yard.

Key Characteristics are:

Access.

- Pedestrian & Vehicular access.
- *Iron Yard* provides access to 20 car parking spaces and pedestrian access to buildings, Market Street and Plenty's Place via ginnels to the South and North respectively.

Architectural Narrative.

- Concluding the transition Southwards from converted workshops - further North - to larger scale converted utilitarian buildings.
- The language of the Court resembles a former *coaching yard*, which ground floor openings for the storage of coaches, with (staff) living accommodation above.
- The entrance to the East off *Plenty's Place* is by way of a modest Coach-Arch.

Material.

- The buildings are to be light coloured painted brick.
- Roof tiling will be a combination of differing slates and some plain tile.

Amenity.

- The ground floor dwellings to the West have amenity in the form of spill-out space to the rear and then balconies above ground floor.
- The dwellings to the East and South benefit from balconies and walkways that offer casual amenity.
- Furthermore, the scheme benefits from a large roof-top community hub (amenity) located on top of *Edward House* and *Pellow House* for all residents to enjoy.

Landscape.

- The surface treatment is to be cobbles with a linear dish channel down the centre of the space.
- The Court will be furnished with a communal outdoor water supply to assist with the upkeep of the plants.
- A Management Company will manage and maintain the hard and soft landscaping, inclusive of the pots and plants.

Security.

- *Ashton Court* will be 'open' at all times. However, the passageways/ginnels that provide pedestrian access to neighbouring courts will have a lockable gates that will only restrict non-resident access between the hours of 9pm to 7am.
- Please see the Security section for more information.

General.

- The Refuse Strategy, Cycle Parking Provision, Car Parking Provision and Servicing are detailed in the latter section(s) of this document.

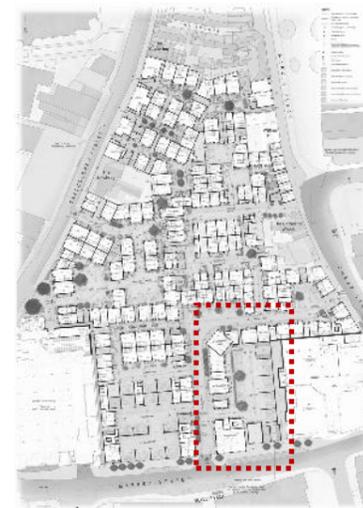


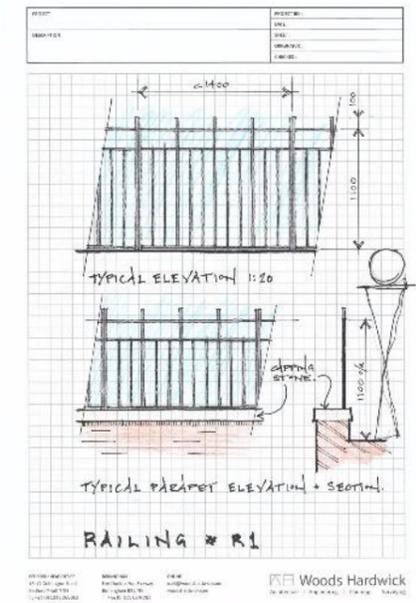
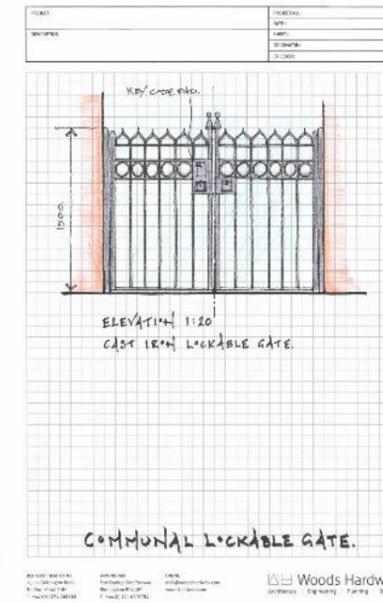
Figure 6.64: Ground Floor Layout of Iron Yard.



Figure 6.65: Iron Yard Elevation (Westwards) - Pellow House, The Workshop & Winchcombe House.



Figure 6.66: Iron Yard Elevation (Eastwards).



**Fine Detail.**

Often, the success of the envisaged architecture and public realm appearance hinge on the execution of fine detail.

In order to ensure that the development is delivered with the Applicant's and Design Team's vision and intention, a Book of Details has been produced.

These details cover the following;

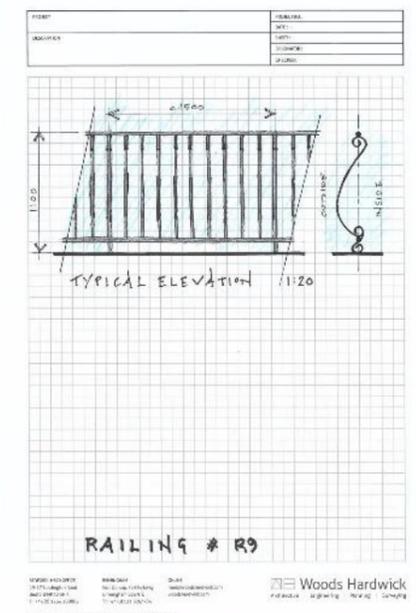
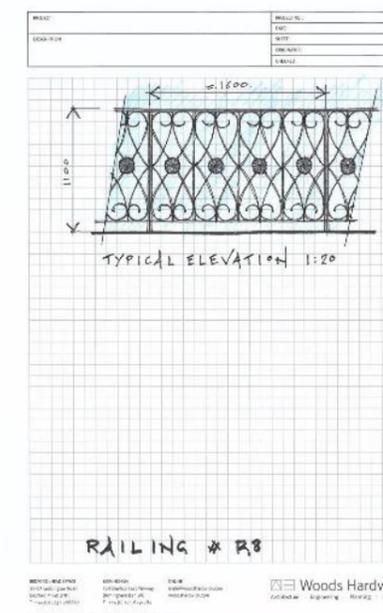
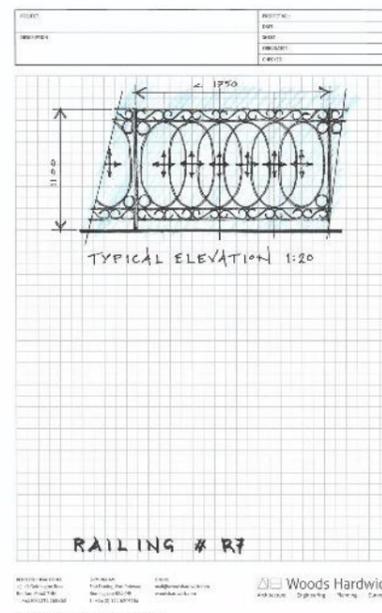
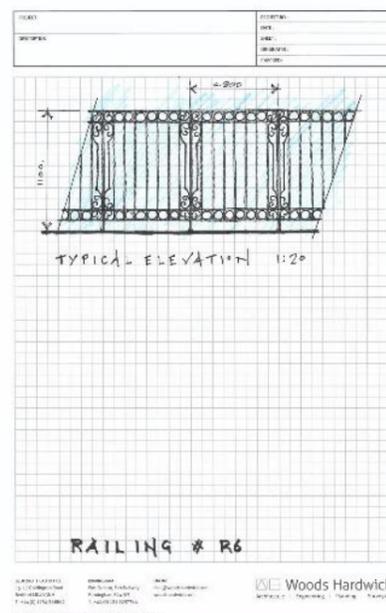
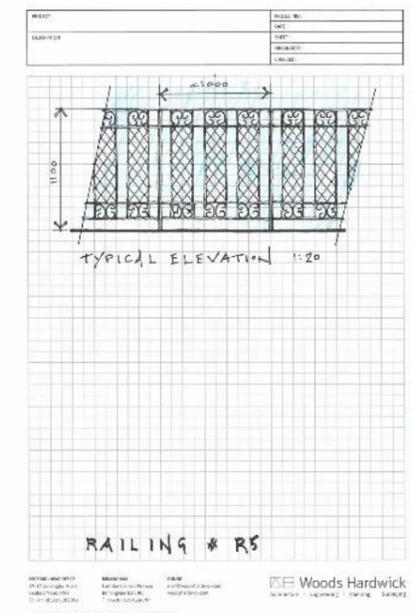
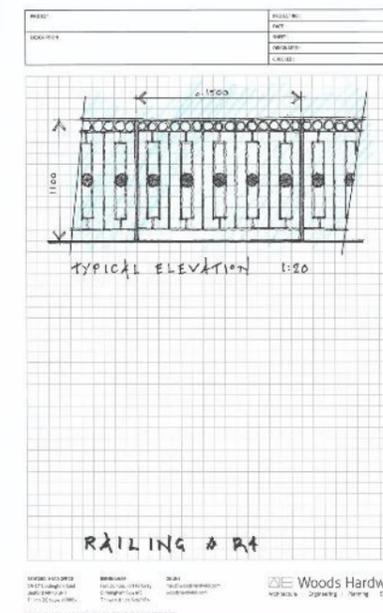
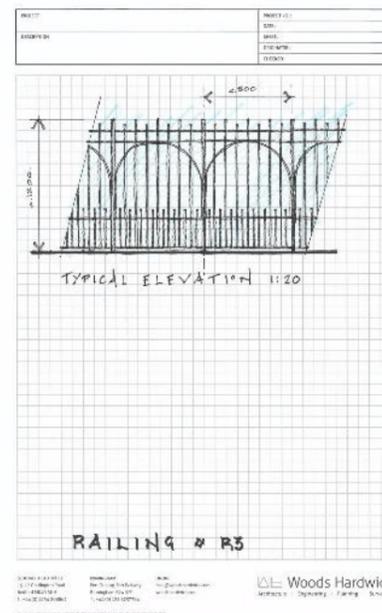
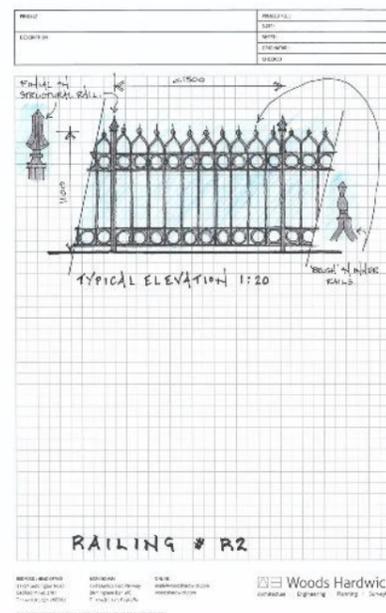
- Bespoke Railings;
- Bespoke Ironworks;
- Bespoke Masonry Detailing and Reveals.

These details were shown at the public exhibition and form part of the Application.

**Bespoke Railings.**

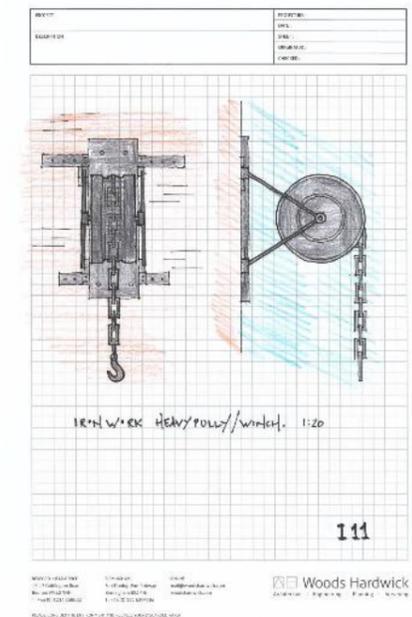
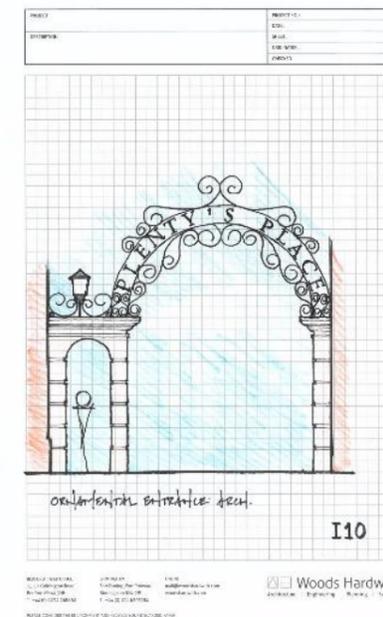
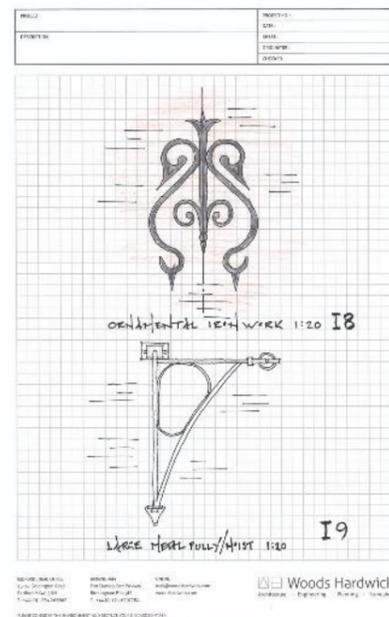
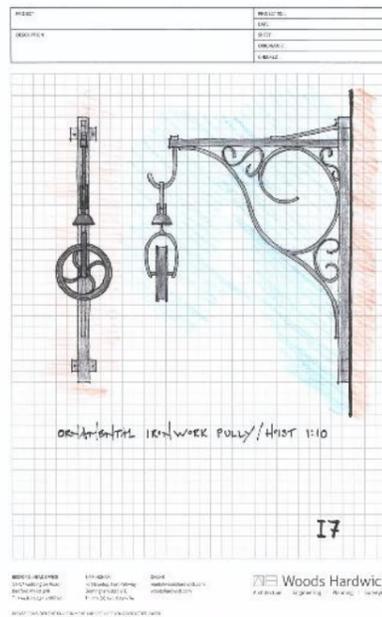
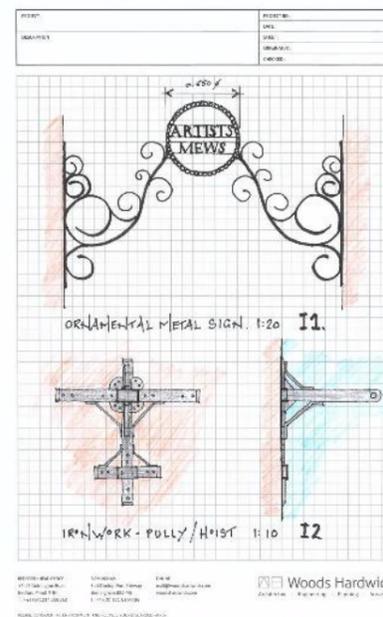
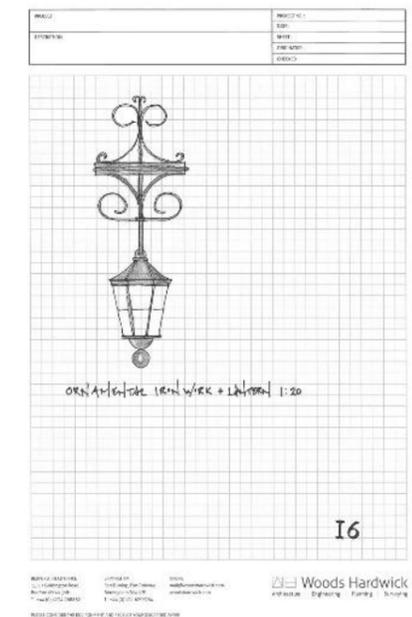
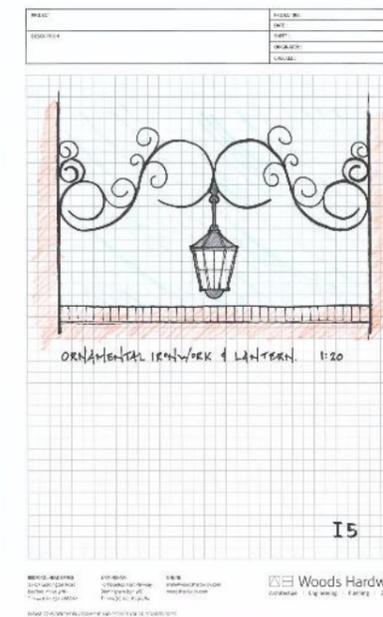
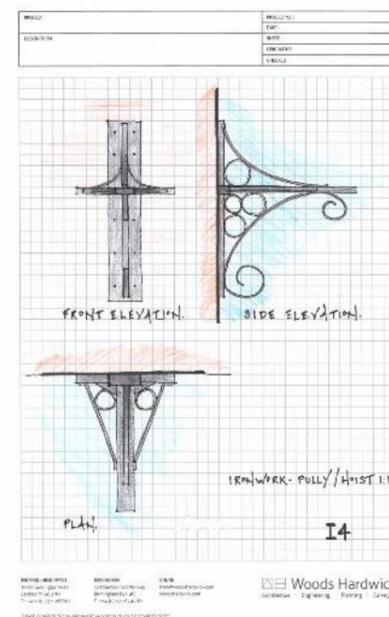
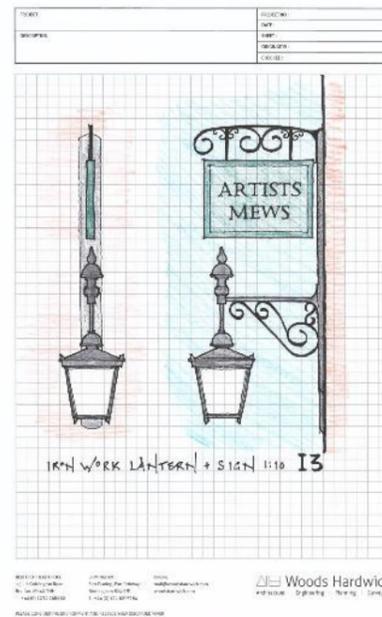
In total, there are 9 individual bespoke railing design and a gate. These railings are bespoke and unique to the development - they cannot be purchased 'off the shelf'.

The mix of railings ensures that there is variety within courts and on street-scenes, assisting with the bespoke, unique and special place-making being sought.



**Bespoke Ironworks;**

As articulated in earlier pages of this Statement, part of the Application Site was once occupied by the former Eagle Iron Works. The scheme seeks to make reference to the past, not only by the built form, architecture and place-making, by re-introducing the former place names and building names, but also by utilising items of bespoke ironwork, found throughout the Conservation Area and wider Town Centre setting.

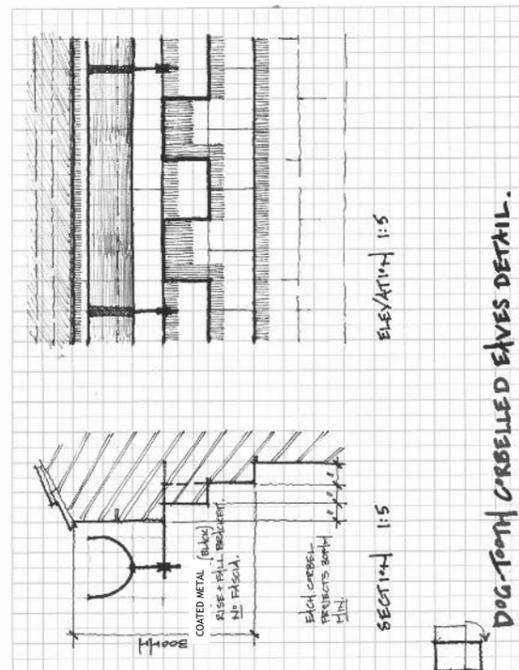


Bespoke Masonry Detailing and Reveals.

A common flaw in new-build developments is the poor understanding of, appreciation of and execution of traditional detailing.

Therefore, the Application is supported by a suite of details - that could be expanded upon by way of Condition - to illustrate how simple but important detailing should be delivered.

PROJECT	OLD TOWN: NEWBURY	PROJECT NO.	19401
DESCRIPTION	TYPICAL DOG-TOOTH CORBELLED EAVES DETAIL.	DATE	OCT. 2024
		DRAWN BY	JHL
		CHECKED BY	



WOODS HARDWICK  
 15-17 GARDEN ROAD  
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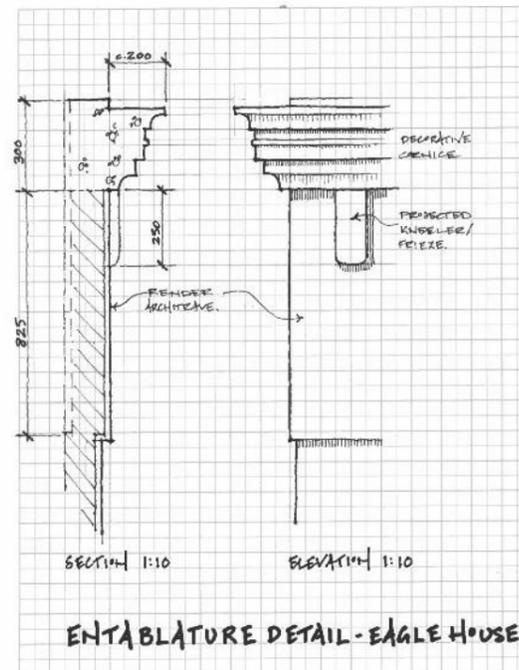
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PROJECT	OLD TOWN: NEWBURY	PROJECT NO.	19401
DESCRIPTION	ENTABLATURE DETAIL - 'EAGLE HOUSE'.	DATE	OCT. 2024
		DRAWN BY	JHL
		CHECKED BY	



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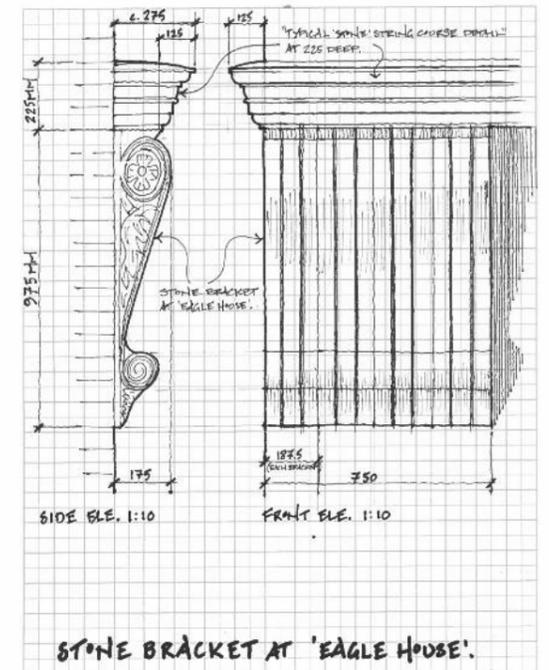
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PROJECT	OLD TOWN: NEWBURY	PROJECT NO.	19401
DESCRIPTION	STONE BRACKET AT 'EAGLE HOUSE'.	DATE	OCT. 2024
		DRAWN BY	JHL
		CHECKED BY	



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#### Site-Wide Amenity Provision Summary.

As described previously in the above commentary, a variety of amenity typologies are proposed, comprising;

- Spill-out areas at ground level;
- Walled/railed frontages;
- Private rear gardens;
- Balconies;
- Roof terraces;
- Communal gardens;
- The landscaped courtyards and mew' themselves; and,
- Community Hub (rooftop gardens).

Some of these amenity typologies are spread over different floor levels design to offer dwellings differing qualities of amenity, different outlooks, views and ambiance.

All dwellings have access to more than one typology of amenity provision. For example, many Courtyard Houses have access to frontage Spill-Out space and a Roof Terrace.

#### Community Hub (Roof-top Garden).

On the roof of Edward House and Pellow House (along the Market Street frontage) is a shared amenity provision accessible by the whole development.

The roof-top is proposed to accommodate the following;

- Landscaping;
- Awning (for shelter from the elements);
- Personal Facilities (WC's);
- Community meeting Space;
- Kitchenette.



Figure 6.67: Community Hub - Rooftop Garden Examples.



Figure 6.68: Modest Balcony/Roof Terrace Examples.



**Amenity Summary.**

Overall Amenity Provision.

The quantum of amenity provided across the site is as follows;

- Primary Semi-Private Amenity Space: 990sq.m.
- Secondary Semi-Private Amenity Space: 2,664sq.m.
- Private Garden/Courtyard Amenity Space: 466sq.m.
- Community Garden Amenity Space: 182sq.m.
- Enclosed Frontage Amenity Spill-Out Space: 1,113sq.m.
- Public Amenity Space: 279sq.m.
- Public Frontage Amenity: 462sq.m.
- Hardstanding Shared Space Amenity : 572sq.m.
- Private Balcony Amenity Space: 449sq.m.
- Roof Terrace Amenity Space: 951sq.m.
- Shared Walkway Balcony Amenity Space: 361sq.m.
- Community Hub Roof Garden Amenity Space: 598sq.m.
- Total Amenity: 9,090sq.m. (0.9ha)



Figure 6.69: Proposed Roof Plan (please see the Application Package for "Floor-by-Floor Amenity Provision Plans).

**Servicing.**

In order to deliver this unique and high quality development, an equally unique strategy is needed to service the site. However, it is important that the strategy is simple, which is precisely what the scheme proposes.

Underpinning the proposal, and in order to secure the high-quality environment envisaged, the scheme will benefit from a Concierge and Management Company the will deliver a comprehensive suite of services.

Concierge.

The development is proposed to be managed and maintained by a Management Company. During the design stage, BROADOAK were engaged with and have assisting in developing the suite of services and advised on costings.

This engagement was undertaken to ensure that the development retains the envisaged high-quality setting, amenity and placemaking envisaged and set out in this document.

The Concierge will have a dedicated suite on-site, adjacent to the entrance off Market Street, in the ground floor of Pellow House.

This suite is proposed to contain a reception, meeting rooms and parcel storage.

Management and Maintenance.

The Management Company will deliver the maintenance of the whole development, including;

- Concierge (7am-7pm Monday–Sunday).
- Caretaker (Monday-Friday).
- Maintenance of streets.
- Maintenance of landscaping (inc. watering).
- Maintenance of access systems (gates & bollards etc).
- Maintenance of CCTV security systems.
- Rainwater pump maintenance.
- General repairs (adhoc repairs).
- Community lighting & maintenance.
- Community Hub maintenance.
- Ground source heat pump maintenance, repair and management.
- External & Internal (communal areas) building maintenance.
- Cycle & Car parking management.
- Bespoke waste management service.

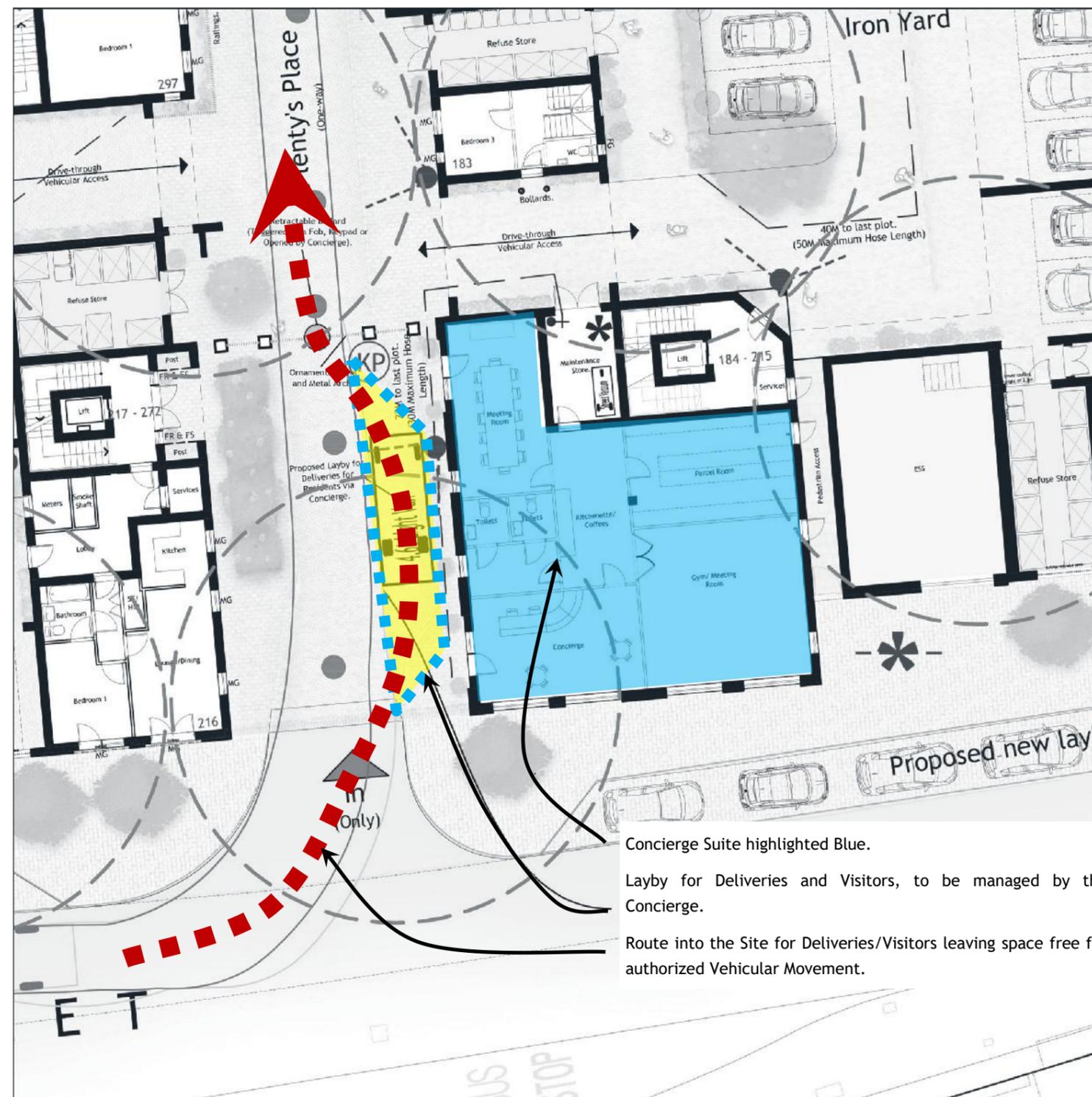


Figure 6.70: Concierge Plan.

Additional Services & Benefits.

In addition to the Estate Management & Maintenance, the Concierge facility is designed to offer the following services for new residents;

- BILL-FREE\* heating & hot water.
- Dedicated concierge suite with parcel store/collection and meeting rooms.
- Primary point of contact.
- Emergency response.
- Regular refuse collection (potential door to store service).
- Car club management.
- Support and maintenance emergencies 24 hours a day, 365 days a year.

\*Cost is within the Management Company Service Charge.

Cost to Residents.

All of the above has been costed by BROADOAK whom have calculated the following approximate sums that cover annual heating, hot water and servicing charge.

Annual Heating & Hot Water Bill vs UK Average:

Typology:	Proposed Cost:	UK Average Cost (Source: Erda & Black Mountain):
House:	c.£678 per year.	£1,000.42 per year.
Maisonette:	c.£551.08 per year.	£813.15 per year.
3 Bed Dwelling:	c.£489.47 per year.	£722.25 per year.
4 Bed Dwelling:	c.£401.09 per year.	£591.82 per year.

Table 5.1: Annual Heating & Hot Water Bill vs UK Average.

Service Charge:

Typology:	Proposed Cost:
1 Bed Apartment:	c.£1,700 per year*
2 Bed Apartment:	c.£2,800 per year*
1 Bed House/Maisonette:	c.£350 per year
2 Bed House/Maisonette:	c.£650 per year
3 Bed House/Maisonette:	c.£850 per year
4 Bed House/Maisonette:	c.£1,250 per year

Table 6.2: Proposed Service Charge.

\*Includes buildings management & maintenance.

General Deliveries & Trades.

One cannot expect delivery personnel and/or trades personnel (hereby referred to as *Operatives*) to navigate the development in the best way, especially if they have driven to the site.

Therefore, the proposed strategy for accommodating such needs is as follows;

- Operatives in vehicles will arrive within the site from Market Street into the 'In' ingress and park in the layby (on-site) adjacent to the Concierge Suite.
- The Operative will then contact the Concierge who could either, receive deliveries, provide access to other areas of the site for the Operative, or give guidance of where to go.
- If there is simply a delivery, the Concierge will sign/receive it, place it in the Parcel Room inside the Suite and notify the resident whom will be able to collect it.
- Of course, the resident could arrange to meet the Operative at the Concierge Suite also.



Figure 6.71: Refuse Store Locations.

Waste & Recycling.

In order to deliver a development opportunity as remarkable as proposed, it is absolutely not possible to service every front door of each dwelling with a Refuse Vehicle.

Therefore, the Refuse Strategy is as follows;

## Retail Units:

- Each Retail Unit has its own dedicated Refuse Store close to the Adopted Highway. These units will be serviced by a private waste collection.

## Residential Dwellings:

- The scheme is furnished with numerous Refuse Stores that will contain the necessary, communal, waste receptacles.
- Residents will take their refuse to the communal store assigned to that dwelling.

- Those dwellings exceeding the recommended walking distance from front door to refuse store, will leave their 'black sacks' available for early morning collection by their front door. The Concierge as part of his duties, will collect the 'black sacks' in the morning and deposit them in the designated refuse store. This only impacts 11 number of dwellings.
- A private collection will be utilised to empty the refuse stores on a weekly basis.
- Refuse Collection Operatives will be employed to escort the refuse bins from the store, to the refuse vehicle, be it parked on Bartholomew Street, Market Street or Plenty's Place. The Refuse Vehicle is not expected to park on Cheap Street to service this development. The Refuse Collection Operatives will also be employed to take the refuse bins back to the store.

**Cycle Parking.**

Every dwelling will have access to cycle parking facilities.

The development contains numerous communal cycle parking facilities around the site. Each dwelling will have an allocated cycle storage space (or two).

The majority of dwellings have a cycle store within close proximity to their respective front door.

Dwellings that do not have a local store that they are assigned to will have access to the large communal store proposed within the ground floor of the Kennet (Multi-storey) Car Park.

Overall, the cycle parking quantum proposed complies with the West Berkshire Local Policy 1 & the *Cycle & Motorcycle Advice and Standards for New Development (2014)*.

- 1 Beds have 1 cycle;
- 2 Beds+ have 2 cycles.

Therefore, 495 cycles are needed, the scheme provides for 508 (311 within the housing development and 197 within the Car Park as described above).



Figure 6.72: Multi-Storey Car Park Plan (See the Application Pack for the full size drawing).



**Car Parking.**

The Council’s standards for Car Parking can be found in the *Residential Parking Policy for New Development (July 2014)*.

**Policy Requirement.**

The site is located in Zone 1 - Newbury Town Centre, and requires the following provision, according to policy;

- 1 Bed Flat: 0.75 Spaces
- 2 Bed Flat: 1 Space
- 3+ Bed Flat: 2 Spaces

In addition, the Policy cites and additional 1 space per 5 apartments for visitors.

- 1 Bed House: 1 Space
- 2 Bed House: 1 Space
- 3 Bed House: 2 Spaces
- 4+ Bed House: 2 Spaces.

The total number of parking spaces to comply with the above policy is 364 allocated and 41 visitors (405 overall).

**Parking Provision Proposed.**

The car parking provision is as follows;

- 46 ‘on-plot’ car parking spaces are proposed.
- 34 ‘on-site’ car parking spaces which have been assigned to particular dwellings.
- 477 car parking spaces are available in the Kennet Multi-Storey Car Park– inclusive of the proposed works to the Car Park.
- Overall, there are 557 car parking spaces.

The Kennet Centre Multi-Storey Car Park accommodates the following quantum’s.

- Ground Floor: 73 Spaces, of which 18 are Disabled.
- First Floor: 101 Spaces.
- Second Floor: 101 Spaces.
- Third Floor: 101 Spaces.
- Fourth Floor :101 Spaces.



Figure 6.73: Cycle Storage & Car Parking Locations (See the Application Pack for the full size drawing).

The Newbury.

The Newbury PH, located on Bartholomew Street, currently enjoys servicing access to the rear of the property via the servicing roof of the Kennet Centre.

Existing Arrangement.

More specifically, one would arrive on the servicing roof (denoted by the yellow dashed line), park up and unload (denoted by the red dot), then transport the goods by hand/trolley (denoted by the dashed blue line) to the access gate (denoted by the blue dot), which is the rear boundary of the Newbury.

One would then descend a set of metal external stairs (denoted by the dashed green line) from the servicing roof level to the ground level in the rear yard of The Newbury PH.

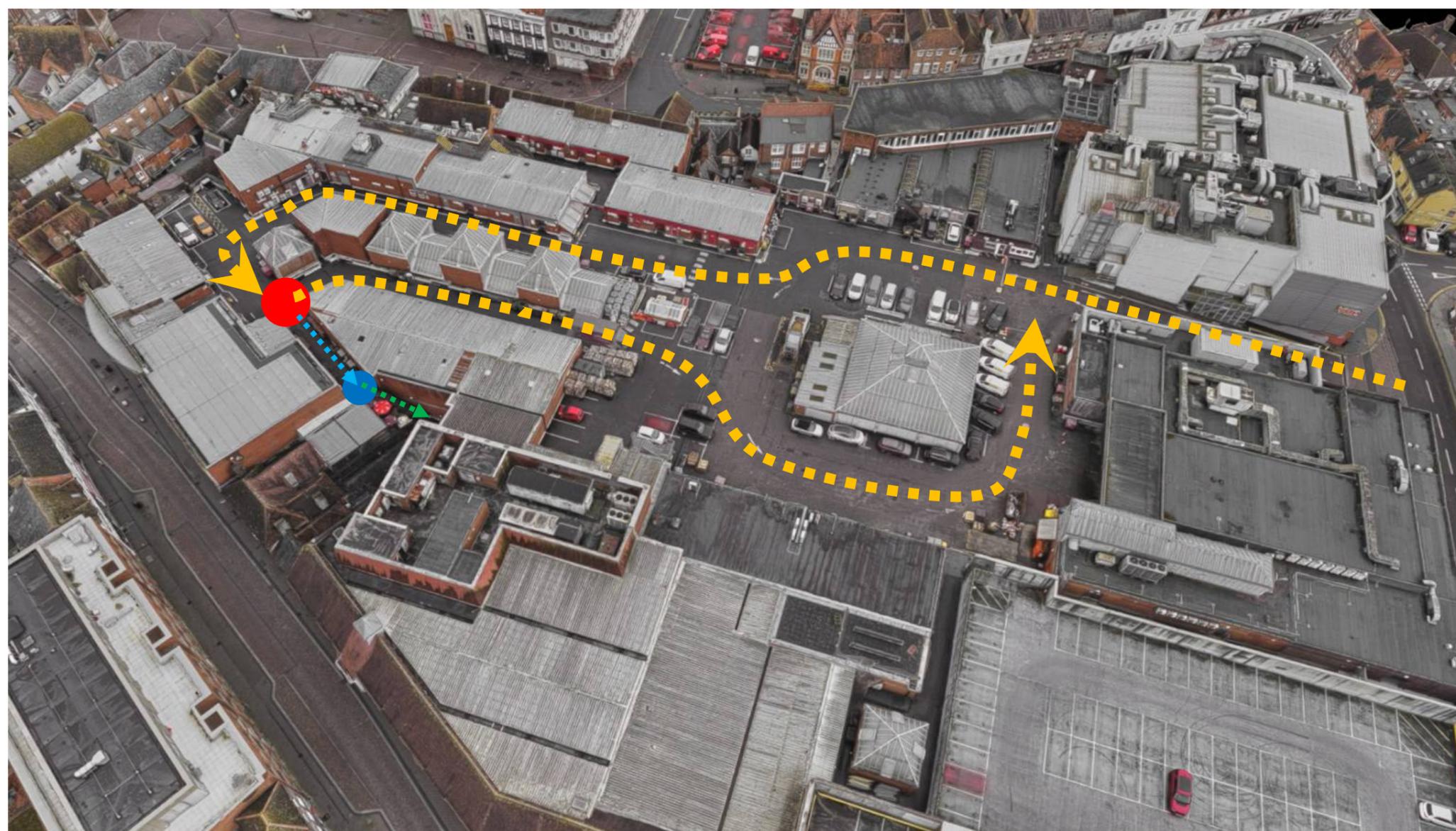


Figure 6.74: Existing Servicing/Delivery Access to The Newbury PH.

Proposed Arrangement.

The proposal offers more convenient access in the following way;

- A 7t delivery lorry has been accommodated to enter Alma Court (North) and exit Alma Court (South), shown by way of the blue tracking on the figure opposite..
- The delivery lorry may park, for the short duration of unloading, within Alma Court.
- The unloaded goods may then be transported (wheeled) from Alma Court (North) through the Communal Garden to the rear of The Newbury., indicated by way of the pink dashed line. At that point, there will be a new door/gate will be installed through the Kennet Centre boundary wall into the rear of The Newbury at ground level.

Therefore, there will be no need to traverse external stair, which The Newbury PH may wish to demolish offering more yard space.



Figure 6.75: Stepped Access to The Newbury PH. Figure 6.76: Proposed Servicing/Delivery Access to The Newbury PH (Extract of the Servicing & Security Plan 19401/1036).

The Globe Inn.

The Globe Inn appears to be serviced from Bartholomew Street but enjoys the benefit of a Fire Escape to the rear.

Existing Arrangement.

The Fire Escape currently utilises an open sided raised area (shaded blue) with a corrugated roof within the rear of The Globe Inn.

From that platform, one elevates 9 steps (dashed orange) to the Kennet Centre boundary wall and the servicing roof level via a small metal push bar gate (shaded orange).

One can then *escape* across the servicing roof top (dashed yellow).

Proposed Arrangement.

The proposed scheme seeks to retain everything as existing within The Globe Inn property boundary. Therefore, retaining the Kennet Centre boundary wall and small metal push bar gate.

However, since the Kennet Centre is to be demolished (except the perimeter wall), one will not be able to escape across the Kennet Centre servicing roof top.

Therefore, the scheme proposes a flight of metal steps from the existing boundary wall height, doglegging alongside the boundary wall and out between Plots 5 and 6, as denoted by the dashed yellow line on the figure opposite.



Figure 6.77: Existing Fire Escape route from The Globe Inn boundary across the Servicing Roof Top.

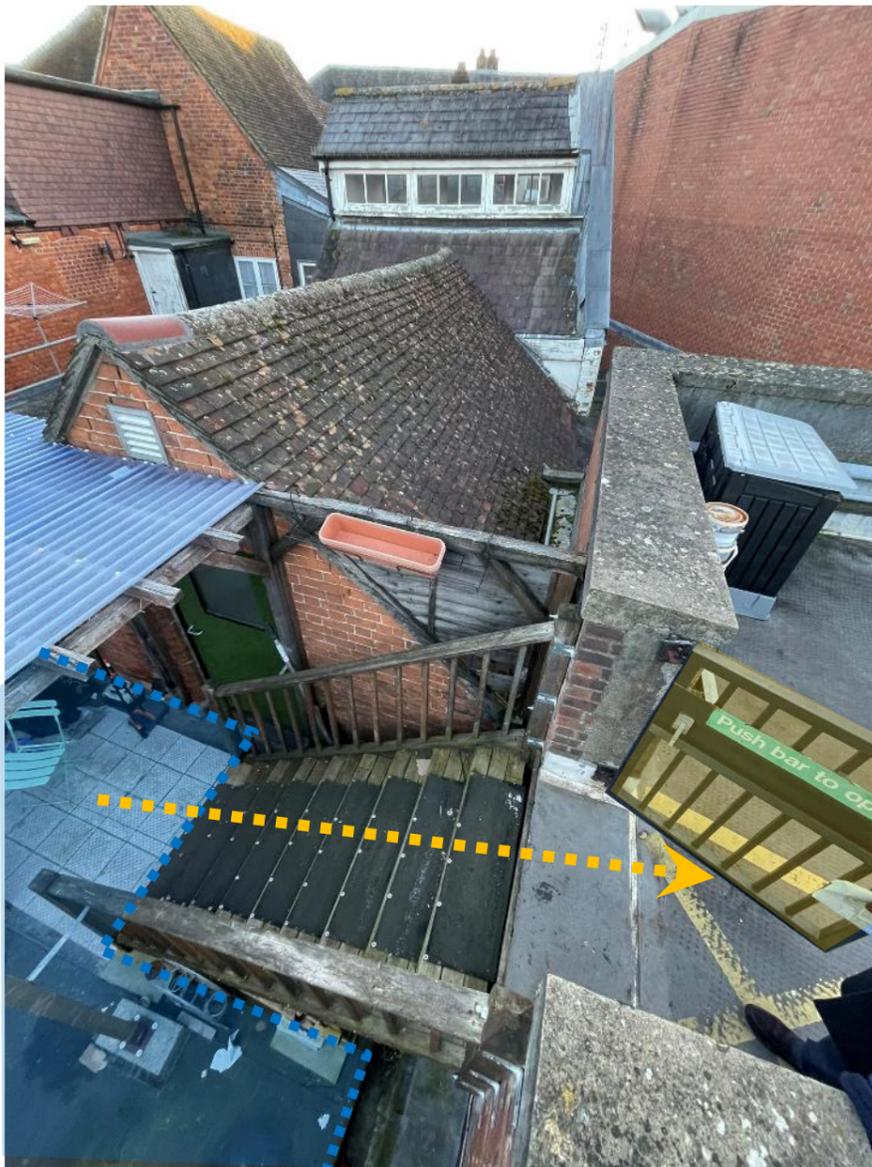


Figure 6.78: Existing Fire Escape route from The Globe Inn to the Servicing Roof Top.



Figure 6.79: Proposed Fire Escape route from The Globe Inn boundary through the proposed development (Extract of the Servicing & Security Plan 19401/1036).

### The Catherine Wheel PH.

The Catherine Wheel PH, located on Cheap Street, may be serviced from the servicing roof top of the Kennet Centre.

#### Existing Arrangement.

More specifically, one would arrive on the servicing roof (denoted by the yellow dashed line), park up and unload (denoted by the red dot), then transport the goods by hand through the gate (denoted by the blue dot).

From there, the Catherine Wheel PH has access to a lift/hoist (shaded yellow) that may transport the goods into the building.

The rear of the Catherine Wheel PH has a single storey flat roof that appears to be used as ad hoc storage. This roof area has access to it from the serving roof top (denoted by the blue dashed line) via a flight of metal stairs, and is also access from the first floor window (denoted by the green dashed line).

#### Proposed Arrangement.

The proposal offers convenient access in the following way;

- A 7t delivery lorry has been accommodated to enter Plenty's Place, denoted by way of the blue tracking on the figure opposite.
- The delivery lorry may park, in the proximity of The Fane, and unload goods.
- The unloaded goods may then be transported (wheeled) from Plenty's Place, through Smith's Yard, to the rear of the Catherine Wheel, denoted by the pink dashed line on the figure opposite.
- At that point, there will be external metal steps leading from ground level up to the existing gate/entrance level.

Therefore, no works will be necessary to the Catherine Wheel property.



Figure 6.80: Existing Servicing route to the rear of the Catherine Wheel PH across the Servicing Roof Top.

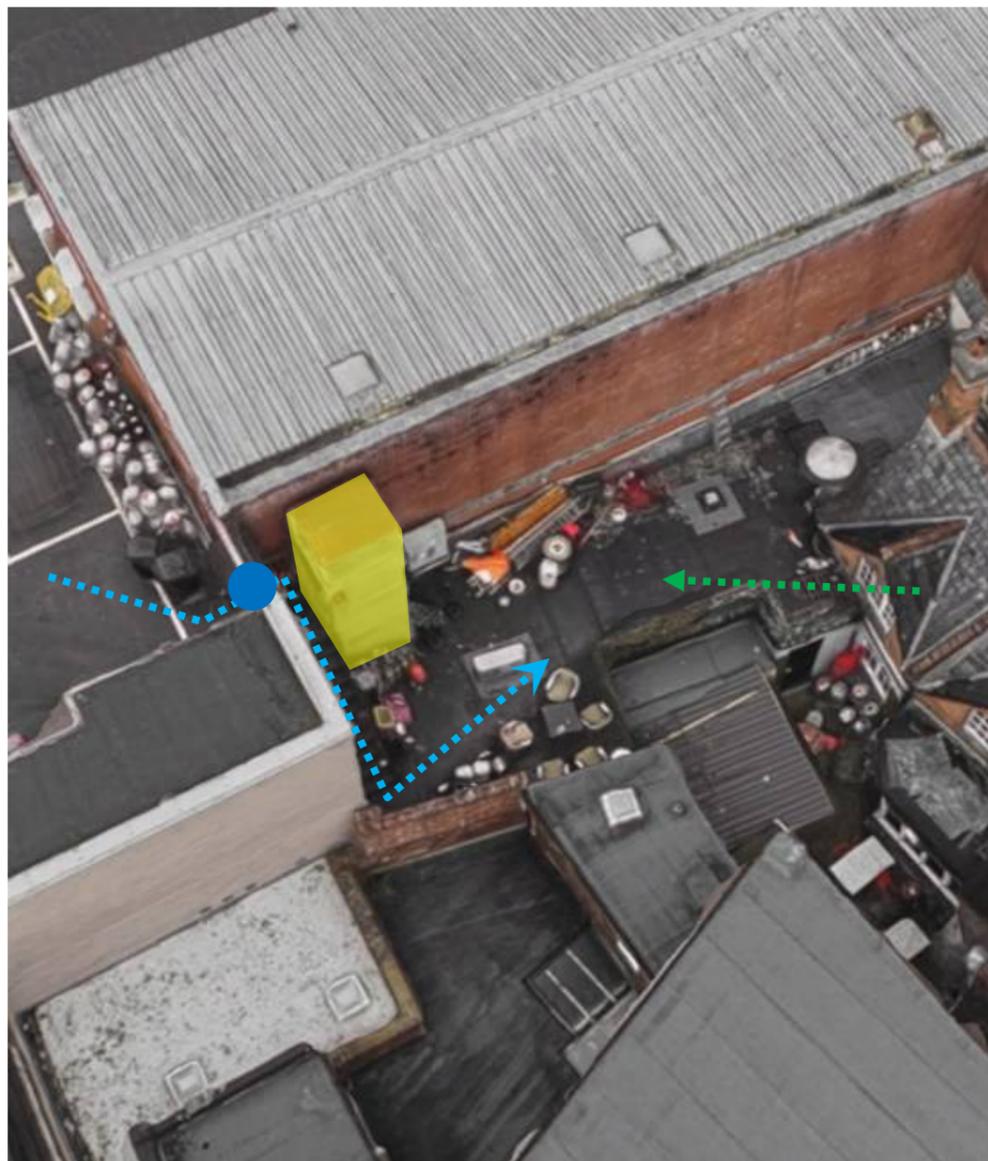


Figure 6.81: Existing Lift/Hoist and Roof-top Access to the r/o the Catherine Wheel PH.



Figure 6.83: Proposed Servicing route to the r/o the Catherine Wheel PH through the proposed development (Extract of the Servicing & Security Plan 19401/1036).

**Servicing Summary.**

The site will deliver the fundamental servicing for the proposed development, comprising;

- Designed general and trade delivery space.
- Bespoke refuse storage and collection.
- Comprehensive cycle storage.
- A detailed car parking strategy inclusive of an addition storey to the Multi-storey car park.

In addition, the site will continue to facilitate the servicing and means of alternative escape from the adjoining and surrounding buildings.

- Retains means of alternative escape for The Globe Inn.
- Retains servicing for The Newbury and The Catherine Wheel.

The scheme also delivers a comprehensive suite of beneficial services for the development.

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