



Old Town, Newbury Demolition & Party Wall Interfaces

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APPENDIX A: Proposed Architectural Drawings

1.0 Overview

Robert Bird Group (RBG) has been appointed by Lochailort Newbury Limited (the Client) to provide a demolition and party wall interfaces document. The purpose of the document is to inform the complex interfaces around the proposed site and the impact of the Kennet centres demolition and construction of new residential led development.

RBG have previously issued a report 'Demolition Desktop appraisal - 4508-RBG-ZZ-XX-RP-ST-001' IN 2019. This report will summarise the findings from the previous report, where relevant, and incorporates the construction methodology for the critical interface between the Vue cinema and the new development.

1.1 Brief

This report is for the use of Lochailort Newbury Limited and the wider 'Newbury Old Town' team. This report should help to inform any future agreements between these parties with regards to the proposed development. Alongside assisting in the cost planning and tendering process.

1.2 Project Overview

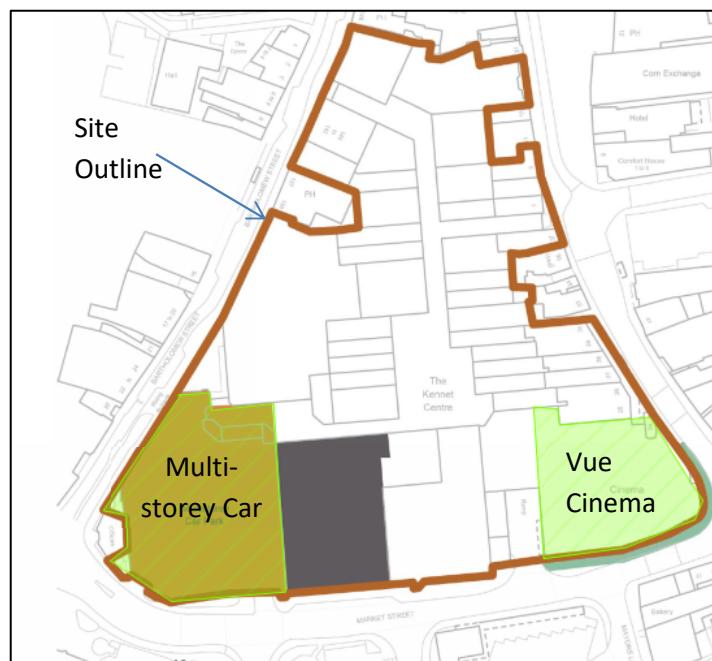


Figure 1 Kennet Centre Site

The current site comprises of the 'Kennet Centre' a 2 to 3 storey retail and leisure development. The Kennet centre development can be broadly split into 3 main areas: retail, multi-storey car park, and Vue multi-screen cinema. The site is approximately trapezoidal in shape and is bound on three sides by roads: Cheap St, Bartholomew St, and Market St.

The site has several interfaces with adjoining properties, to the North is a Victorian retail arcade and within the wider trapezoidal footprint is indented by adjoining retail units and pubs, including several Grade II listed buildings.

During the pre-planning period 'Siteliner' have carried out extensive surveys of the interfaces with retained or party wall structures. Refer to section 3.3 for the available surveys.

1.3 Development History

The 'Kennet Centre' in its current form has been developed over multiple phases since the 1970's. This has been broadly split into 2 parts the earlier phases assumed to be developed in three stages from 1973 to 1983, these phases cover the retail (phase 1 &2) and Multi-storey car park and remaining retail (phase 3). Phase 4 covers 2009 extension including a multi-screen cinema.

Additional surveys have been carried out to verify the historic information held in the existing development which will be discussed in more detail in the sections below.

1.3.1 Early development phases (Phases 1,2&3)

Development of the 'Kennet Centre' started in 1973 with Phase 1, and shortly followed by Phase 2 assumed completed in 1976, Phase 3 was developed about 10 years later in 1983.

Phase 1 extended from market street to the south of the site where the vehicle ramp servicing the retail back of house areas begins, as part of this phase the building formerly the Sainsbury's was constructed to the left-hand side of the ramp. Retail units 1-23 were constructed as part of phase 1. Shortly after Phase 2 incorporating retail units 24-44 was constructed to the North of Phase 2 with a movement joint extending east west across the site. Phase 2 extended north to the Victorian retail arcade on the northern boundary of the site.



Figure 2 Historic Photo of Phase 2 Construction



Figure 3 Photo of current Cheap Street Elevation

Figure 2 of Phase 2 of the development is looking North-North-East the building on top right of the picture is at the junction of Bear Lane and Cheap St. Clearly from this photo the adjoining properties at interfaces are structurally independent of the historic Kennet centre development. Additionally, from interrogating these interfaces along Cheap St there are movement joints between the existing structures.



Figure 4 Bartholomew St and North West corner of Site Prior to Early Phase development

Figure 4 is looking north along Bartholomew St in advance of the early phases of development looking at where currently stands the 'The Newbury' public house. Figure 5 below of the Phase 3 looking west from the site of the Phase 3 construction looking at Bartholomew St with 'The Newbury' on the left. Both images indicate that 'The Newbury' was a free-standing structure in advance of the Kennet centre development.



Figure 5 Bus Station prior to Phase 3 development

Phase 3 in 1983, developed the western portion of the site adjacent to Bartholomew St, this portion of the site was utilised as a bus garage up till the Phase 3 development as indicated in figure 5.



Figure 6 Phase 3 Construction looking at Bartholomew St



Figure 7 Phase 3 from Bartholomew St 1990's

Figures 6 and 7 show the Phase 3 portion of the Kennet centre under construction and in operation during the 1990's respectively. As part of the Phase 3 development the multi storey car park (to be retained) was constructed, a portion of the car parking provision provided during this phase was constructed on the roof of the former Sainsbury retail.

1.3.2 Phase 4: Cinema

The latest extension to the Kennet centre (2009) consisted of a multi-screen cinema and 5 restaurant units over 3 storeys. The 6,000m² extension is positioned in the South East corner of the development on a former car park. The Phase 4 development required the relocation of a substation from under the ramp access to the left of the ramp adjacent to the ramp. Figures 8 and 9 below show the pre-phase 4 development and then the new structure intertwined between the ramp and former Sainsbury's unit where the substation now is located.

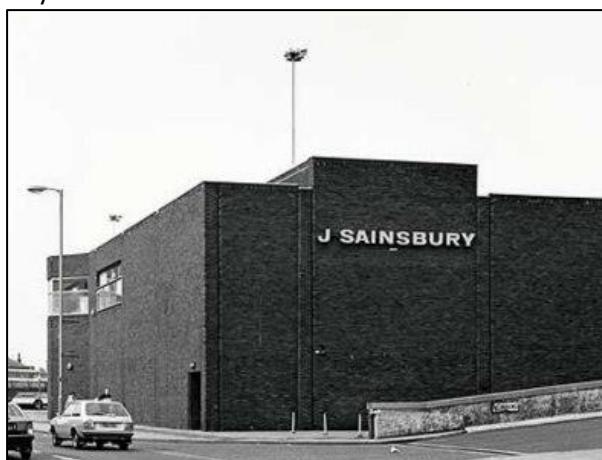


Figure 8 Phase 1 Kennet Centre prior to Phase 4 construction



Figure 9 Phase 4 interface with Phase 1; view of ramp and former Sainsbury

1.4 Survey / Site Investigations

As part of the pre-planning works, RBG have conducted several physical and virtual site visits of the Kennet Centre, focusing on the interfaces between adjoining buildings and the structures that are to be retained as part of the new development.

Siteline were commissioned by Lochailort Newbury Limited (the Client) to carry out detailed site surveys of the interfaces to the new development. 'Siteline' have produced several surveys, listed below:

28th August 2020

- 396KC300 Cinema Interface
- 396KC301 Multi Storey Interface
- 396KC302 The Newbury Interface Ground Floor Plan

1st September 2020

- 396KC300A Cinema Interface
- 396KC301A Multi Storey Interface
- 396KC302A The Newbury Interface Ground Floor Plan

5th September 2020

- 396KC300B Cinema Interface
- 396KC301B Multi Storey Interface
- 396KC302B The Newbury Interface Ground Floor Plan
- 396KC303 The Globe Interface
- 396KC304 Catherine Wheel Interface Ground Floor Plan
- 396KC305 William Hill Interface PROVISIONAL
- 396KC306 Sushi Maki Interface PROVISIONAL

As well as the survey information provided, Siteline have also produced a cloud based imagery which can be found at the link below:

<https://siteline.websharecloud.com/?v=om&t=p:default,c:overviewmap,h:f,m:t&om=om1&om1=x:690.754,y:924.231,zoom:5&p=p:396kc-cinema-fire-exits,share:e668da72-819b-467b-9be2-ed270f48dd78>

In addition to this, RBG were instructed to produce an interpretive Ground Investigation Report '4508-RBG-ZZ-XX-RP-GE-001', based on the factual soil investigation carried out by Soiltechnics between May and September 2020. The findings of the report are not critical to the scope of this document but have been considered when developing the temporary works proposal.

2.0 Proposed development and demolition works

The proposed development consists of the redevelopment of the current Kennet Centre (shopping centre) in Newbury.

- Demolish the existing shopping centre, maintaining the existing Cinema and the existing multi storey car park.
- Construction of 350 new BTR (Build to Rent) residential units. The new residential blocks will have no basement and a total maximum height of approximately 12 storeys.
- Construction of a new office block with a total of approximately 12,000 sqm gross area.
- Extension of the existing car park, adding one full storey on top of the existing structure.

3.0 VUE Cinema Interface

3.1 Proposed Development adjacent to Vue

The critical interface discussed within this report will focus on the Cinema interface with the Eagle Quarter development.

The interface between phase 1 and phase 4 are intertwined. Fortunately, as indicated in figure 11 the green outline shows a demarcation between two varying structural forms. Structure within the green boundaries being structural steel developed in phase 4 and outside the green boundary being RC frame construction developed in phase 1 and 2.

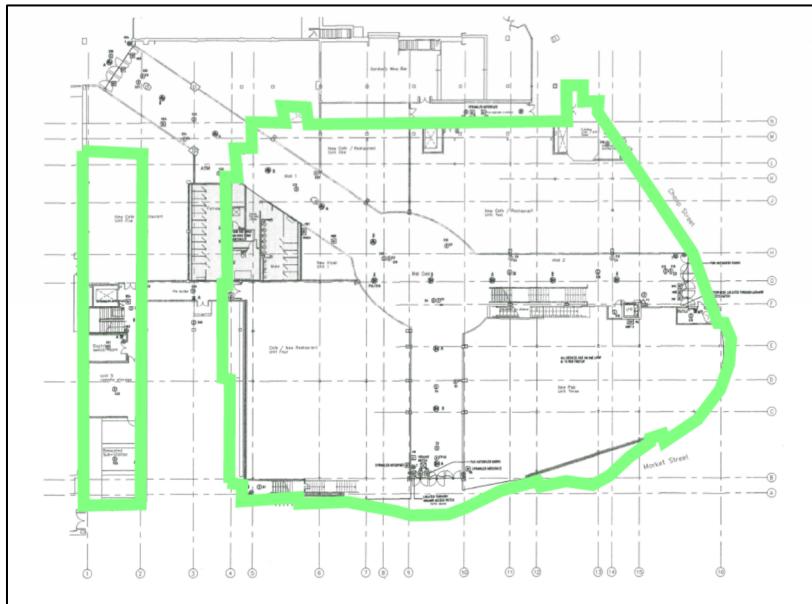


Figure 10 Phase 4 New Structure

The interfaces between the Cinema and the pre-existing structure are in many ways the most complex especially where the Vue Cinema hangs over the ramp which was part of the phase 1 construction.

Figure 12 shows the extent of demolition and the line of the new development. North of the Cinema will house the new Cheap Street service yard whilst west of the Cinema will be bounded by Block D and A of the new development.

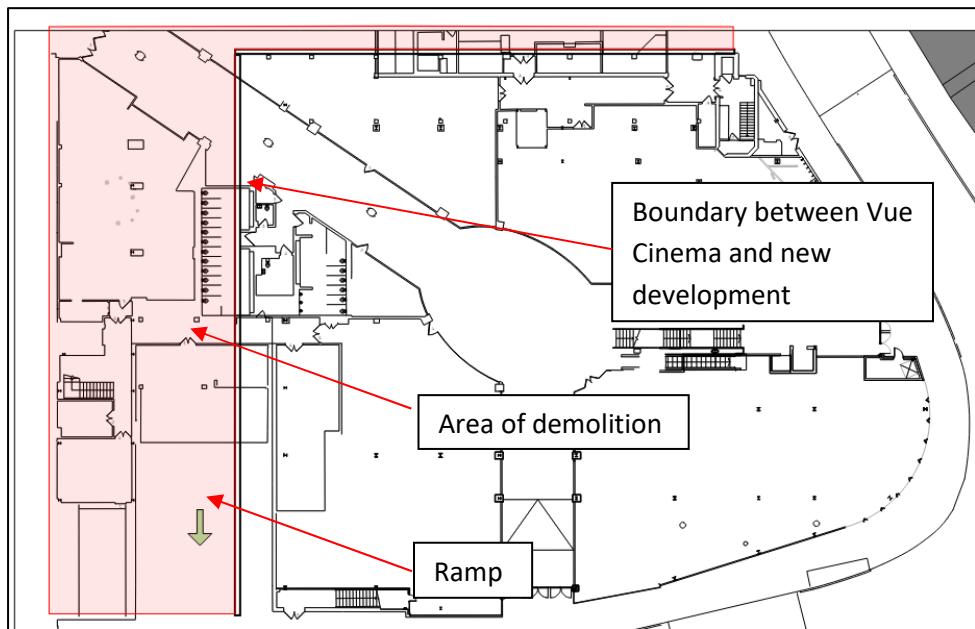


Figure 11 Existing ground floor – Vue Cinema/Phase 1

The northern interface of the Cinema and pre-existing phase 1 construction are structurally independent as can be seen in the Figure 13 .

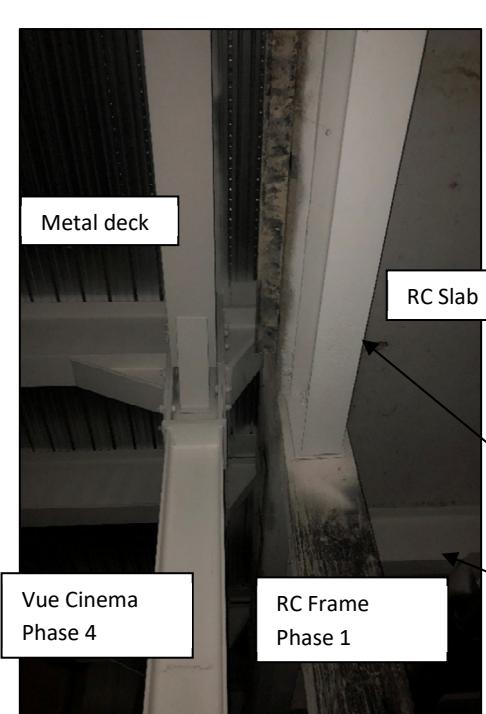


Figure 12 Phase 1/4 Interface

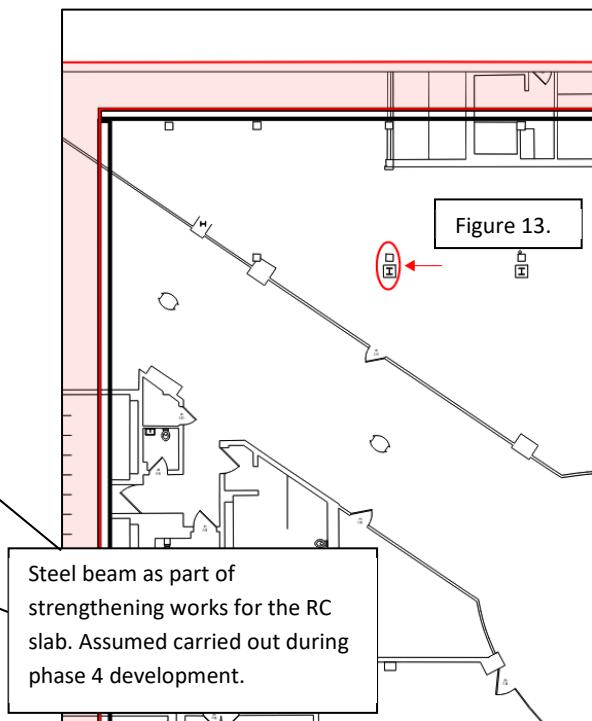


Figure 13 Ground floor extract

Other areas of complexity include the nature of which the external walls of the Cinema are supported. Parts of the wall encroach over the original phase 1 construction to the east (ramp) as well to the north.

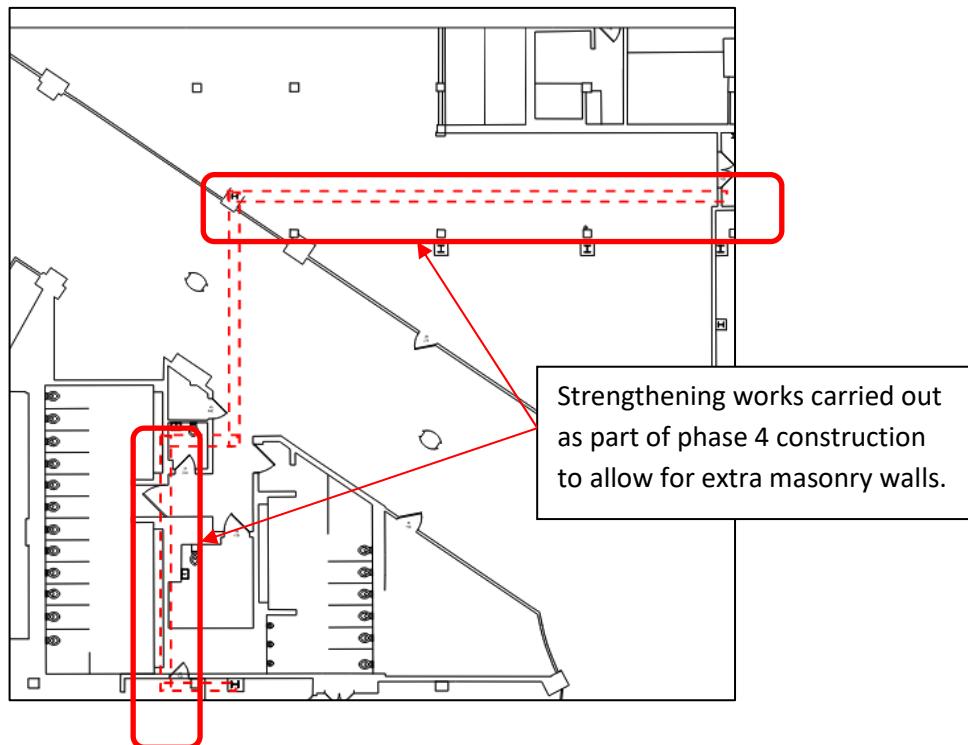


Figure 14 Ground floor showing Vue Cinema walls above

As shown above, the later constructed Vue Cinema external walls are built off the phase 1 construction. It appears that during the phase 4 works the existing phase 1 and 2 concrete frame were strengthened locally with steelwork as indicated in figure 3. Not all the strengthening works could be identified within the surveys due to the presence of false ceilings and boarding. However, these should be stripped out to identify all strengthening works prior to any structural demolition commencing.

3.2 Disturbance and Mitigation measures

The contractor where possible should work away from the boundary of the Vue cinema to minimise noise. The contractor should consider minimising the use of equipment that can produce high levels of vibration or noise. All mitigation measures from the contractor should comply with the lease of Cinema Premises at Kennet Centre, Newbury document dated 4th December 2009.

4.0 Party Walls

The Eagle Quarter development will be built off the Kennet Centre and will utilize the party walls between the interfaces (The Newbury, The Globe, Sushi Maki, William Hill and Catherine Wheel). Below in Figure 17, highlights with red line the existing walls of the Kennet Centre that they will be used.

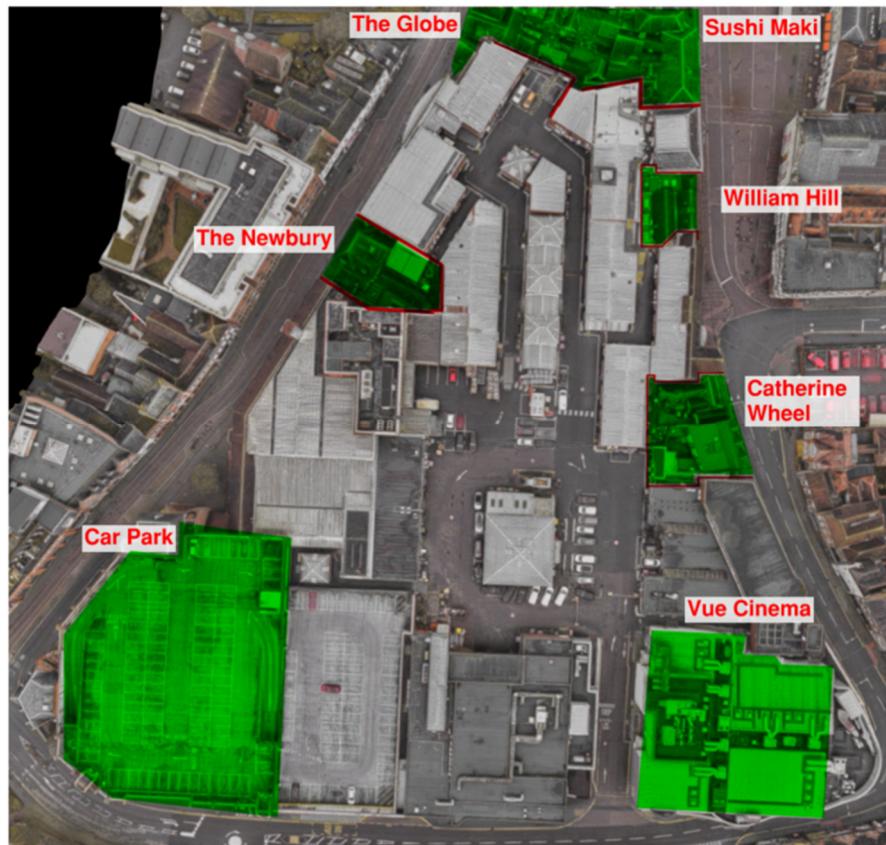


Figure 15: Kennet Centre Interfaces

4.1 The Newbury

The Newbury is located on Bartholomew Street on the West side of the site. It was originally built in the 17th century and was a coaching inn. The pub has been through many changes over the years, but it has always been a popular meeting place for locals and visitors alike.

The picture below is an elevation of the Newbury and the existing structure. The new development will be comprised of 3 stories which are approximately 4 meters from the existing building eaves. The infill will be retained. The new scheme will use the existing wall to build off the residential units utilizing the foundation underneath the wall to avoid underpinning. In Figure 18 the highlighted area in red will be demolished. The eaves height for the new scheme will be 4 meters lower than the existing following the blue line.

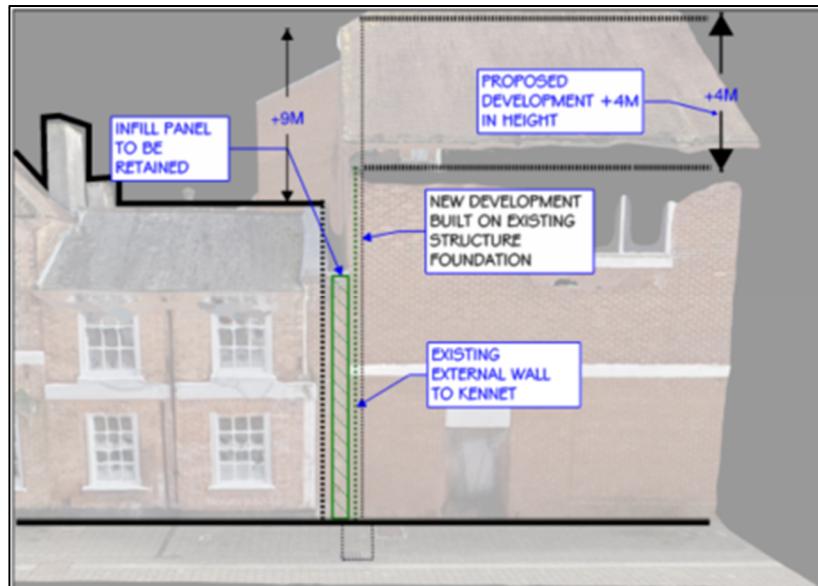


Figure 16: The Newbury – Elevation

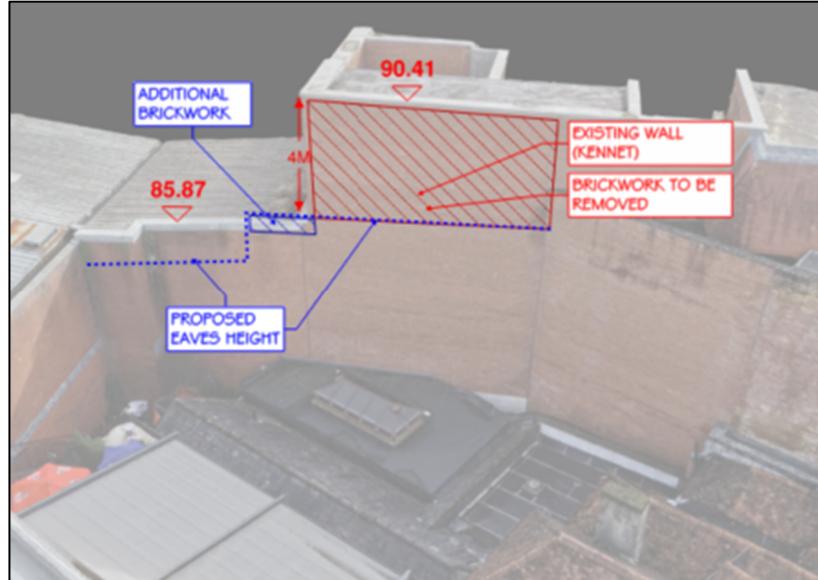


Figure 17 The Newbury - Elevation F

On the North wall 0.9 meter of brickwork of the existing wall will be demolished and the proposed eaves height will be 9.5 meter from the ground (Figure 20). At the rear (Figure 21) of the Newbury the wall will be extended, and the proposed eaves height will be 2.5 higher from the existing one. A fire escape route is provided at the rear of Newbury puncturing through the existing wall. (Figure 22)

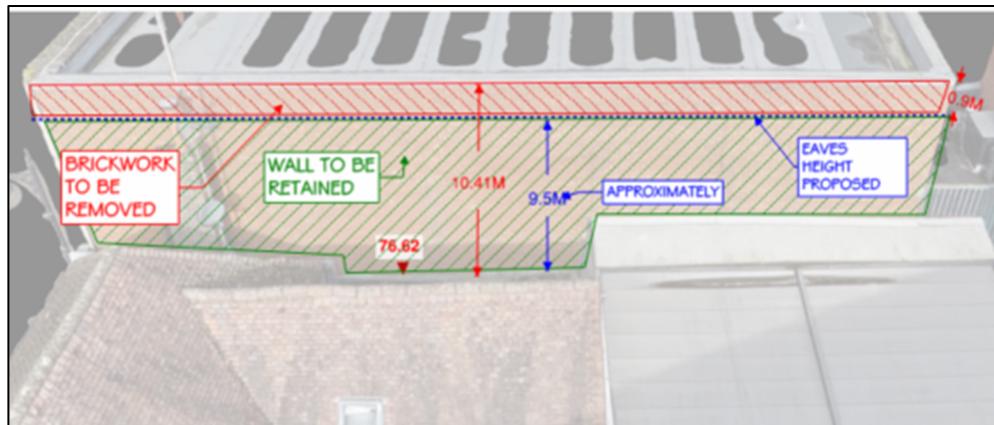


Figure 18: The Newbury - Section D

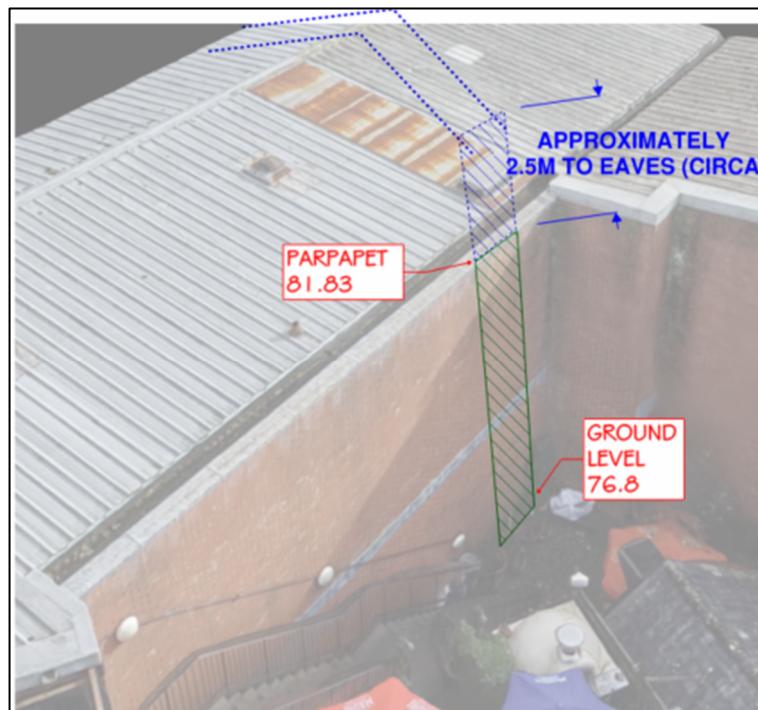


Figure 19: The Newbury - Section E



Figure 20 The Newbury Fire Escape Route

4.2 The Globe

The Globe is located on the North side of the site. During the construction stage stairs will be provided of the existing roof of the Globe (Figure 23). The proposed scheme will have three residential units comprising of one storey and a two-storey retail unit (Figure 24).

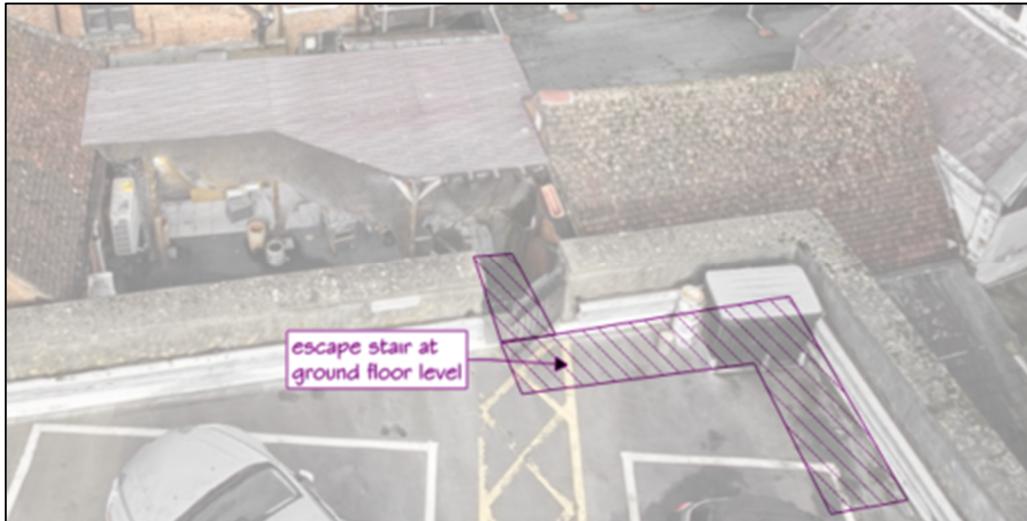


Figure 21 The Globe - Escape Route

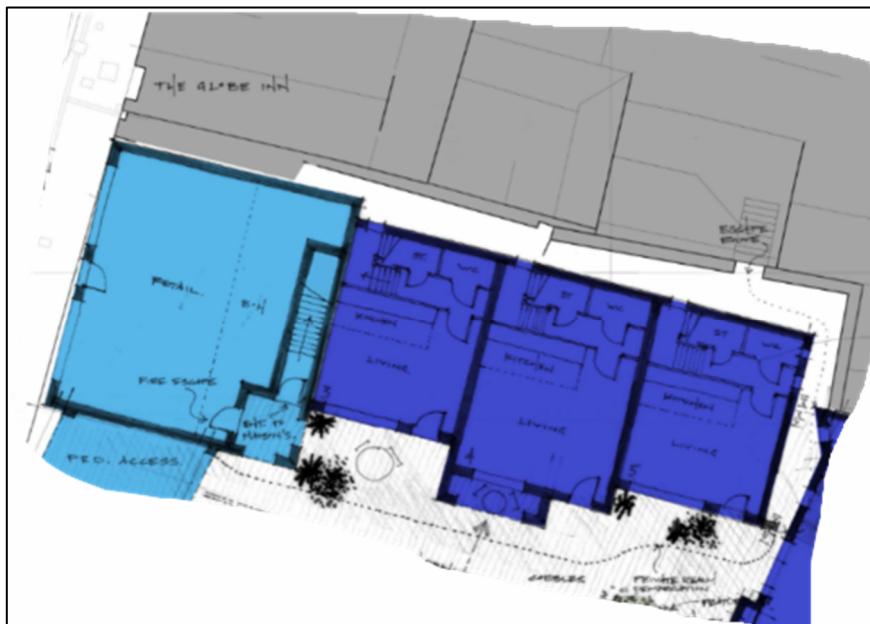


Figure 22 New Development

The section below shows the existing and proposed relationship between the Globe and the new development.

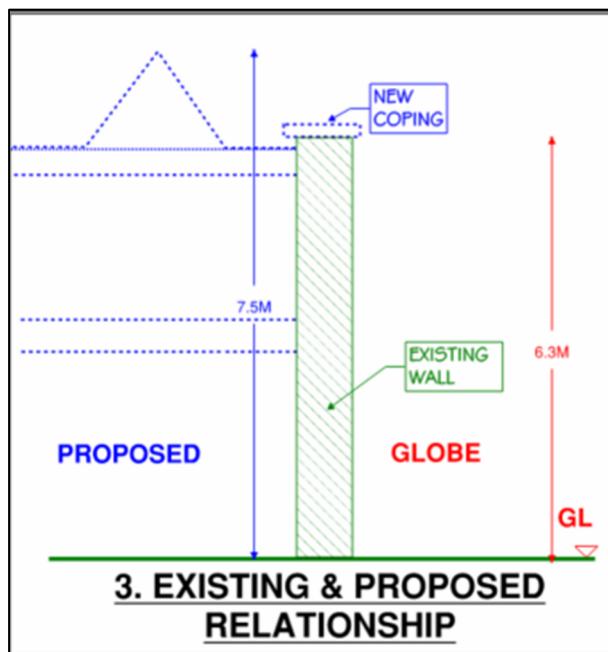


Figure 23 The Globe Existing and Proposed Relationship

4.3 Sushi Maki

Sushi Makis is located next to the Globe. It's a casual, minimalist Japanese restaurant offering creative sushi rolls & sashimi plus beer & sake. At the back, the existing wall will be retained, and 3.8 meters will be removed from the top of the wall. The residential units will tie-in to the existing wall. The proposed height of the units will be approximately 8.7m (Figure 26&27).

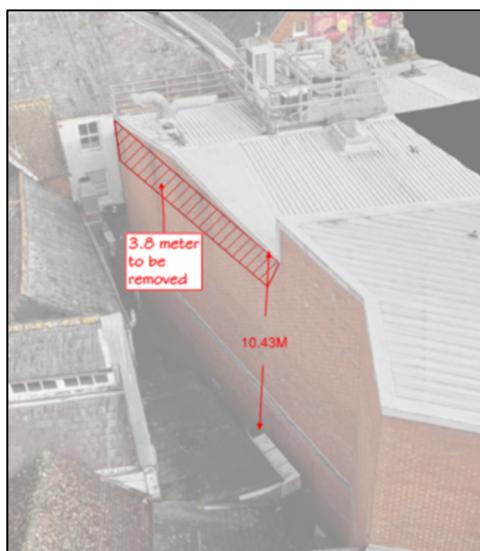


Figure 24 Sushi Maki Existing Wall

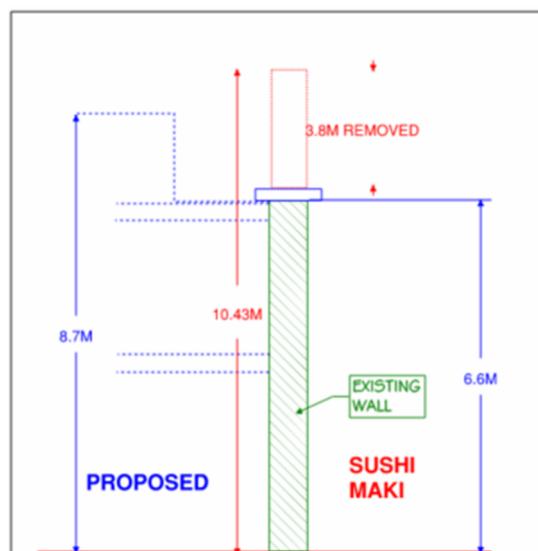


Figure 25 Sushi Maki Existing Wall Section

The existing wall of the building adjacent to Sushi Maki will be retained. The roof will be demolished, and the new retail unit will be comprising of two stories and the roof will be 0.6 meters higher than the existing (Figure 28).

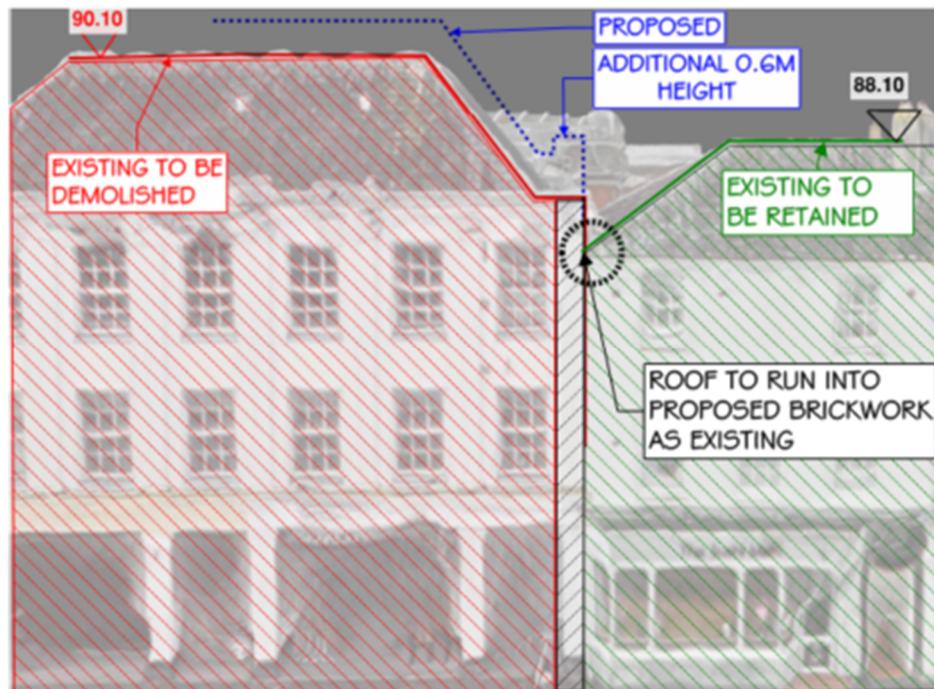


Figure 26 Sushi Maki Elevation

4.4 William Hill

Located in Newbury on the Cheap Street on the East, William Hill has been the trusted home of sports betting and gaming since 1934. The shops have been a fixture on the high street for decades. The wall highlighted in red in Figure 29 and Figure 30 will be retained and the terrace of the new development will be higher than originally designed to mitigate poor daylight.



Figure 27 Rear of William Hill

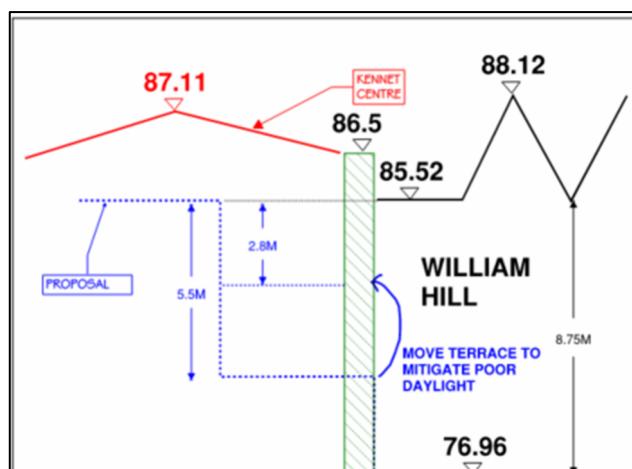


Figure 28 Section Rear of William Hill

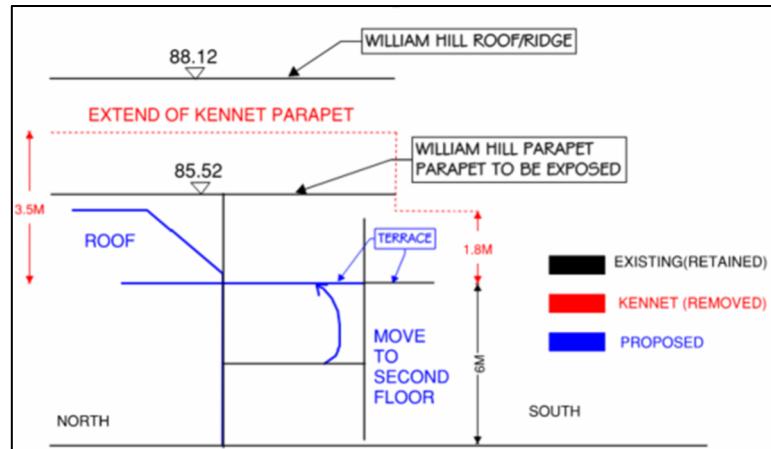


Figure 29 Elevation Rear of William Hill

Facing William Hill and looking to the left, we are looking at One Stop and Coral (Figure 32). Both shops will be demolished and replaced with two-storey dwellings. The dwellings will be higher than the existing ones approximately 1 meter. The building right to William Hill will be demolished as well and its place a two-storey retail unit will be constructed 0.6 meters higher as shown in Figure 33).



Figure 30 One Stop / Coral Elevation

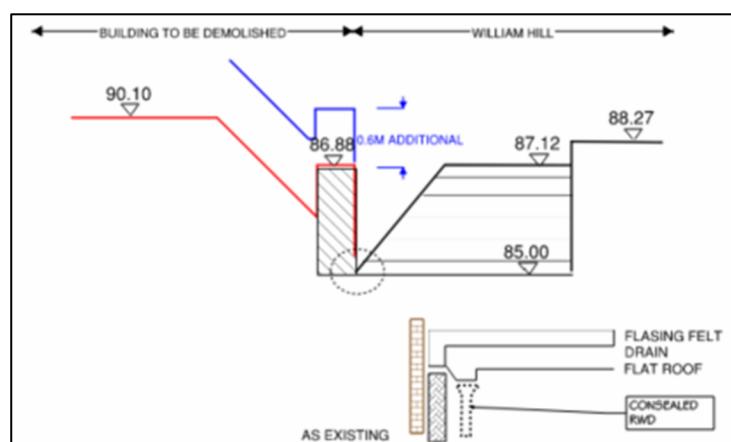


Figure 31 Right of William Hill Elevation

4.5 Catherine Wheel

Catherine Wheel is located on Cheap Street on the East Side. The existing structure is a pub built in the early 18th century, designed in the Tudor style. However, the name Catherine Wheel has its roots in the 1400s. Situated between Market Place and Cheap Street, both of which trace their origins to Newbury's Norman foundation. The Market Place, in particular, would have been a central hub for trade and social activities during medieval times.

The pub earned a place in the inaugural list of town pubs in 1761. Interestingly, by the late 18th century, both the name Catherine Wheel and the associated legend of St. Catherine had lost their popularity.

On the boundary Kennet Wall shown in Figures 34 and 35, the wall will be extended and will have the same height as the existing.



Figure 32 Boundary Kennet Wall

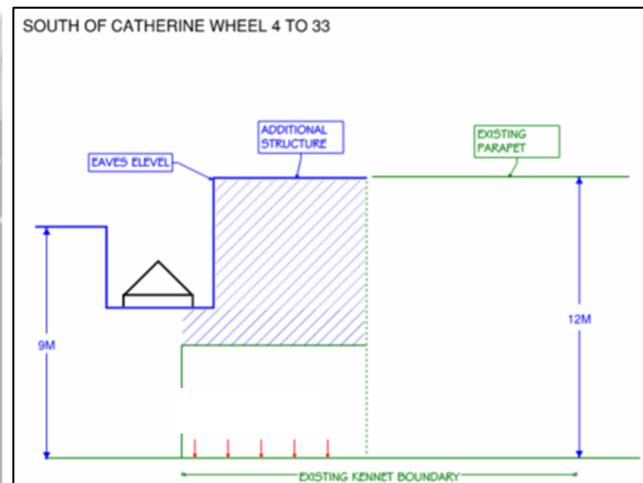


Figure 33 Elevation D

The wall rear of Catherine Wheel, (Figure 36 and 37) will be decreased by 2 meters. The height of the wall is 8.43 meters making the proposed one 6.43 meters.

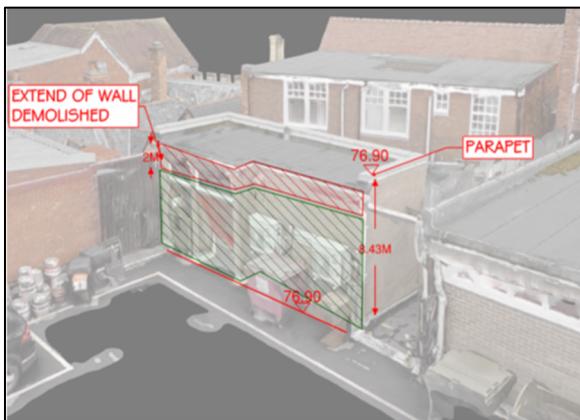


Figure 34 Elevation Rear of No 33

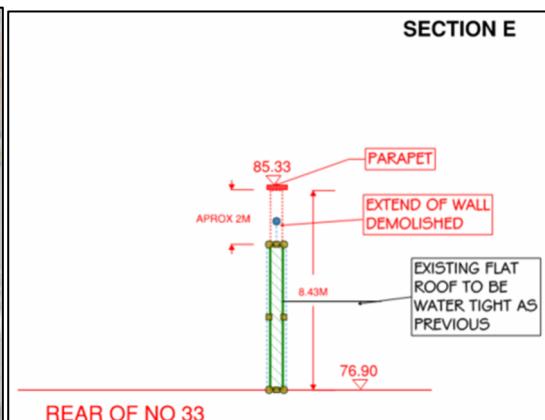


Figure 35 Section Rear of No 33

The brickwork of the wall highlighted in red in Figures 38 and 39 will be removed by 2 meters approximately. Dwellings will be built against the existing wall with eaves/parapet at 6.43 meters from the ground.



Figure 36 Elevation Rear of Catherine Wheel

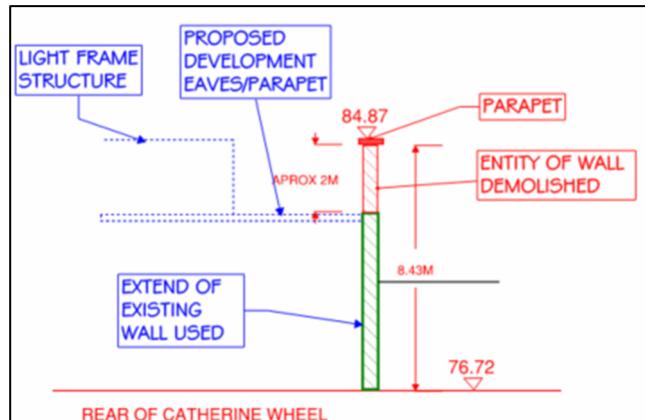


Figure 37 Section Rear of Catherine Wheel

5.0 Interface with retained MSCP

The latest planning application for 'Newbury Old Town' involves the retention of the main part of the MSCP with an additional storey of car park added. The current MSCP provision includes an open car park at L2, positioned on top of the former large Sainsburys retail unit described in section 1.3.1 of this report. This is to be demolished to allow for the new residential development.

Based on the record information we know that the main MSCP and Sainsbury car park deck were constructed together as part of 'Phase 3' of the kennet centre. Fortunately, we have some structural record drawings in this area which has informed the provision for an additional storey to the MSCP.

As can be seen in the Figures 38 and 39 there is a structural movement joint separating these two structures. The Sainsburys structure is independent of the MSCP and so can be demolished to foundation level without impacting the stability of the MSCP that is assumed to remain operational throughout. The access at MSCP level 2 to the Sainsburys deck can be blocked off as indicated in the Woods Hardwick drawings.



Figure 38 Photo showing movement joint and separate structures of MSCP and former Sainsburys.

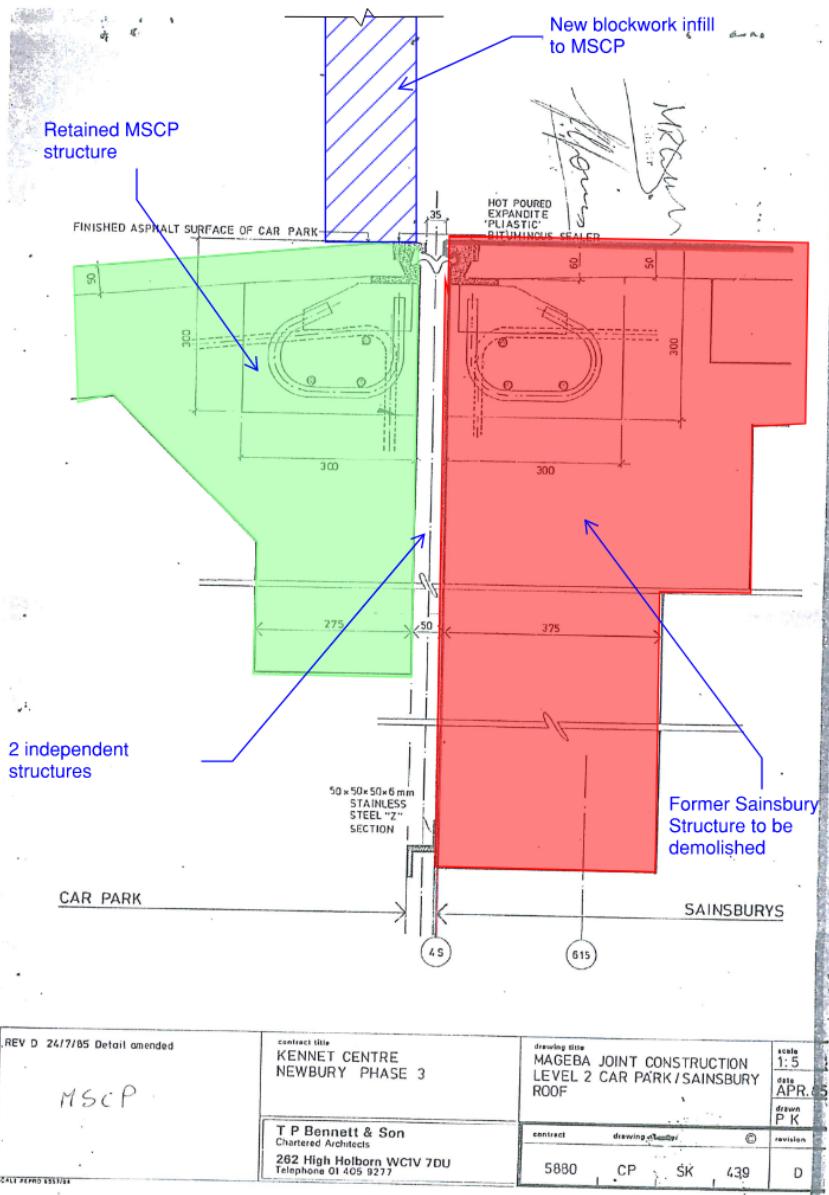


Figure 39 Original movement joint detail showing independent structures

Appendix A



1. Contractors must check all dimensions on site. Only figured dimensions are to be worked from. Discrepancies must be reported to the Architect or Engineer before proceeding.
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SCALE	1:200 @ A0	DATE		FEB 2024
DRAWN	AT/JPG	CHK		JAL
DRAWING NO.	19401/1002	REV	-	
TITLE	Old Town, Newbury.			
DETAILS	Semi-Basement Floor Plans, Site Layout.			

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